

CITY OF MITCHELL
CITY PLANNING COMMISSION
COUNCIL CHAMBERS, CITY HALL, 612 N MAIN ST
MAY 28, 2019; 12:00 PM

1. CALL TO ORDER:
2. ROLL CALL:
3. Declaration Of Conflicts Of Interests
4. APPROVE AGENDA:
5. Approval Of Minutes: May 13, 2019

Documents:

[PLANNINGCOMMINUTES5132019.PDF](#)

6. Schedule Next Meeting: June 10, 2019

7. Conditional Use Permit: Tabled From Last Meeting, 412 E 12th Ave

Carlos & Alayna Reyes have applied for a conditional use permit to operate a family residential child care center in their residence located at 412 E 12th Ave, legally described as Lot 11, Block 1, Frosts Addition, City of Mitchell, Davison County, SD.

Documents:

[REYESAPP.PDF](#)
[REYESNOH.PDF](#)
[REYESLETTER.PDF](#)
[REYESNEIGHBORS.PDF](#)
[AERIALREYESDAYCARE.PDF](#)

8. Plan Approval: 201 E 2nd Ave, CB District

Documents:

[GUNKEL.PDF](#)
[BUILDING DIAGRAM.PDF](#)
[201E2ND2.JPG](#)
[201E2ND1.JPG](#)

9. CONDITIONAL USE PERMIT: 1106 W 6th Ave

Kimberly Kluth has applied for a conditional use permit to operate a massage business (home occupation) at her residence located at 1106 W 6th Ave, legally described as W 1/2 of Lot 6, Block 6, Bracy's Addition, City of Mitchell, Davison County, SD. The property is zoned R2 Single Family Residential.

Documents:

[KLUTHNEIGHBORS.PDF](#)
[KLUTHAPP.PDF](#)
[KLUTHNOH.PDF](#)
[AERIAL1106W6TH.PDF](#)

10. Plat: A Plat Of Lot 3, Block 5 Of The Woods First Addition, A Subdivision Of The East 1/2 Of The SW 1/4 Of Section 23, T 103 N, R 60 W Of The 5th P.M., City Of Mitchell, Davison County

Documents:

[PLATL3B5WOODS.PDF](#)
[AERIALL3B5WOODSPLAT.PDF](#)

11. Plan Approval: 300 W Havens, HB District

Documents:

[300WHAVERSAERIAL.PDF](#)
[300WHAVERNSPLAN.PDF](#)

12. Plan Approval: The Lake House, 2700 N Main St, HB District

Documents:

[LAKEHOUSEAERIAL.PDF](#)
[LAKEHOUSEPLAN.PDF](#)

13. Plan Approval: Unclaimed Freight Furniture, 1500 N Main St, HB District

Documents:

[UNCLAIMEDPLAN.PDF](#)

14. OTHER BUSINESS:

15. PUBLIC INPUT: If You Need To Address The City Planning Commission On An Item That Was Not On The Agenda, Excluding Personnel Items, Please Come Forward To The Podium And State Your Name And Your Concern. Presentations Are Limited To Three Minutes. Items Will Be Considered But No Action Will Be Taken At This Time.

16. ADJOURNMENT:

"The City of Mitchell invites all interested parties to give oral or written comments. If special accommodations are required, please notify the Public Works Department at 605-995-8433 at least 24 hour prior to the scheduled meeting."

**CITY OF MITCHELL
CITY PLANNING COMMISSION
MAY 13, 2019, MINUTES**

NOT APPROVED

Chairman Larson called the May 13, 2019 City Planning Commission Meeting to order at 12:00 pm in the Council Chambers, City Hall, 612 N Main St, Mitchell, SD

Members Present: Genzlinger, Larson, Molumby, Osterloo and Allen

Members Absent: Fergen, Jirsa, and Quenzer

Staff Present: Putnam, J. Johnson, London, Overweg, Sandoval, Ellwein, and Mayor Everson

Declaration of Conflicts of Interest: Genzlinger declared a conflict on Item #9

Approval of Minutes: Motion by Genzlinger, seconded by Osterloo to approve the minutes of the April 22, 2019 meeting. All members present voting aye, motion carried.

Approval of Agenda: Motion by Osterloo, seconded by Molumby to approve the agenda as presented. All members present voting aye, motion carried.

Schedule Next Meeting: Motion by Molumby, seconded by Genzlinger to set the next meeting for Tuesday, May 28, 2018. All members present voting aye, motion carried.

Variance: Terrance and Michelle Lynde have applied for a front yard variance of 13 feet vs 25 feet as required to construct a covered porch and placement of an accessory building at their home located at 324 E. 14th legally described as Lot 4, Block 1, Fullerton Terrace Addition, City of Mitchell, Davison County, South Dakota. The property is zoned R2 Single Family Residential District. Ms. Lynde was available to answer questions. No one testified in opposition of the application and no written comments were received. The applicants would like to install a porch on the front of their home for addressing drainage. Additionally, they would like to place an accessory building in the front yard in order to preserve a yard that they would like to fence. The lot's shape is irregular and 14th avenue does not align with the front of their home. The applicant was asked about a large tree in the yard and she replied that they intend to keep the tree. The public notice was published on May 2, 2018 and letters to the neighbors were sent on May 2, 2019. Motion by Osterloo, seconded by Genzlinger to recommend the Board of Adjustment approve the variance of the porch, but they suggested the shed should be aligned with the overhang of east side of the house. All members voting aye, motion carried.

Carlos & Alayna Reyes have applied for a conditional use permit to operate a family residential child care center in their residence located at 412 E. 12th Ave, legally described as Lot 11, Block 1, Frost's Addition, City of Mitchell, Davison County, South Dakota. The property is zoned R2 Single Family Residential District. The applicants were not present. A neighbor asked if anyone knew the hours of the proposed childcare center. No one was available to respond. Sandoval noted the applicants have passed a fire inspection. Motion by Molumby, seconded by Genzlinger to table the application to the next meeting. All members present voting aye.

Continued discussion or possible action on Puetz proposal of the SE corner of N Kimball Street and E 9th Ave. Mark Puetz, Puetz Corp, presented revised plans that are different from the one presented at the last meeting. The new plans included a parking lot on the west lot and the area for crane storage will not be included in the plans. He mentioned that the homes removed were undesirable and he is hoping to improve the appearance of the area. He stated that he has tried to reach out to neighboring property owners since the last meeting. He noted various example of parking lots in residential areas, specifically on Kimball Street. Various property owners expressed concern about the traffic on East 9th, the encroachment of commercial into a residential area, effect on property values, noise and appearance. Mark Puetz responded to the neighbors' issues. J. Johnson provided a legal analysis of the situation, which including an examination of the past and present zoning designations of the area. He indicated that the existing ordinances prevent the installation of the parking lot in this R2 property. As result of the legal opinion, the commission by consensus determined the proposed parking lot should not be approved. Genzlinger did not participate in the discussion and refrained from the consensus as he has a conflict of interest.

Plan Approval: 201 E 2nd Ave, CB District. The new owner was not present. The commissioners had questions about the plan and use of the building. Motion by Genzlinger, seconded by Molumby to table the approval until the next meeting. All members present voting aye, motion carried.

Public Input: none

Chairman Larson adjourned the meeting at 1:05 pm.

Pd #73152 4/16/19

APPLICATION FOR CONDITIONAL USE PERMIT

TO: THE MITCHELL PLANNING COMMISSION AND THE BOARD OF
ADJUSTMENT THE CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA.

The undersigned applicant(s) Carlos & Alayna Reyes are hereby making an application for a conditional use permit pursuant to the provisions of the City of Mitchell Zoning Code as amended.

This Application is for the following described real property:

Lot 11, Block 1, Frosts Addition to the City of Mitchell, Davison County, South Dakota
(412 12th Ave)

Applicant(s) Carlos & Alayna Reyes of the above-described real estate, request(s) to operate a childcare center in her home. The said real property is zoned (R2) Single Family Residential District.

The names and addresses of the current property owners within one hundred and forty feet (140') of the applicant's property (excluding streets and alleys) will be notified upon the filing of this application.

Applicant(s) request that dates be set for public hearings before the Mitchell Planning Commission and the Board of Adjustment. Furthermore, the applicant requests the City of Mitchell to publish the appropriate notice(s) in accordance with the City of Mitchell's Ordinances.

Dated this 5th of March, 2019.

Alayna Reyes
APPLICANT

Alayna Reyes
OWNER

NOTICE OF HEARING

To: The Planning Commission, Board of Adjustment of the City of Mitchell, Mitchell South Dakota, and to the general public:

YOU ARE HEREBY NOTIFIED, that Carlos & Alayna Reyes have applied for a conditional use permit to operate a family residential child care center in their residence located at 412 E 12th Ave, legally described as Lot 11, Block 1, Frosts Addition, City of Mitchell, Davison County, South Dakota. The said real property is zoned (R2) Single Family Residential Central Business District.

YOU ARE FURTHER NOTIFIED, that public hearings will be held by the Planning Commission on May 13, 2019 at 12:00 P.M and the Board of Adjustment on May 20, 2019 at 6:00 P.M., at the Council Chambers, Mitchell City Hall. All interested parties may attend the public hearings and provide comments in regards to the applicant's request.

Dated at Mitchell, South Dakota, this 26th day of April 2019.

Michelle Bathke

FINANCE OFFICER

Publish twice: May 2 & May 9, 2019

Approximate Cost:



May 2, 2019

To Whom It May Concern:

YOU ARE HEREBY NOTIFIED, that Carlos & Alayna Reyes have applied for a conditional use permit to operate a family residential child care center in their residence located at 412 E 12th Ave, legally described as Lot 11, Block 1, Frosts Addition, City of Mitchell, Davison County, South Dakota. The said real property is zoned (R2) Single Family Residential Central Business District.

YOU ARE FURTHER NOTIFIED, that public hearings will be held by the Planning Commission on May 13, 2019 at 12:00 P.M and the Board of Adjustment on May 20, 2019 at 6:00 P.M., at the Council Chambers, Mitchell City Hall. All interested parties may attend the public hearings and provide comments in regards to the applicant's request.

I/We

Gary L. Balding
OWNER

413 East 13th Ave.
ADDRESS

____ APPROVE

X DISAPPROVE

No response will indicate approval.

COMMENTS:

Outside expectations

DON & DONNA FITZLER
401 E 13TH
MITCHELL SD 57301

DENNIS & LINDA DEINERT
407 E 13TH
MITCHELL SD 57301

GARY BALDING
413 E 13TH
MITCHELL SD 57301

CLAYTON & DEBORAH CHRISTIANSEN
415 E 13TH
MITCHELL SD 57301

MICHAEL & LINDSEY THOMPSON
419 E 13TH
MITCHELL SD 57301

MARTY & MARY ELLEN BARINGTON
427 E 13TH
MITCHELL SD 57301

STEVE & KATHY FEELDY
501 E 13TH
MITCHELL SD 57301

JAMIE HOEFERT
401 E 12TH
MITCHELL SD 57301

ERIC MILLER
404 E 12TH
MITCHELL SD 57301

TORY & DEBORAH KAUFMAN
1125 SUNNYSIDE CT
MITCHELL SD 57301

COLEEN KIRCHHEVEL
418 E 12TH
MITCHELL SD 57301

DONALD TISCHLER
308 S MENTZER
MITCHELL SD 57301

JAN & BARBARA BERKHOUT
500 E 12TH
MITCHELL SD 57301

LEGACY LEASING
1208 JOGENE CT
MITCHELL SD 57301

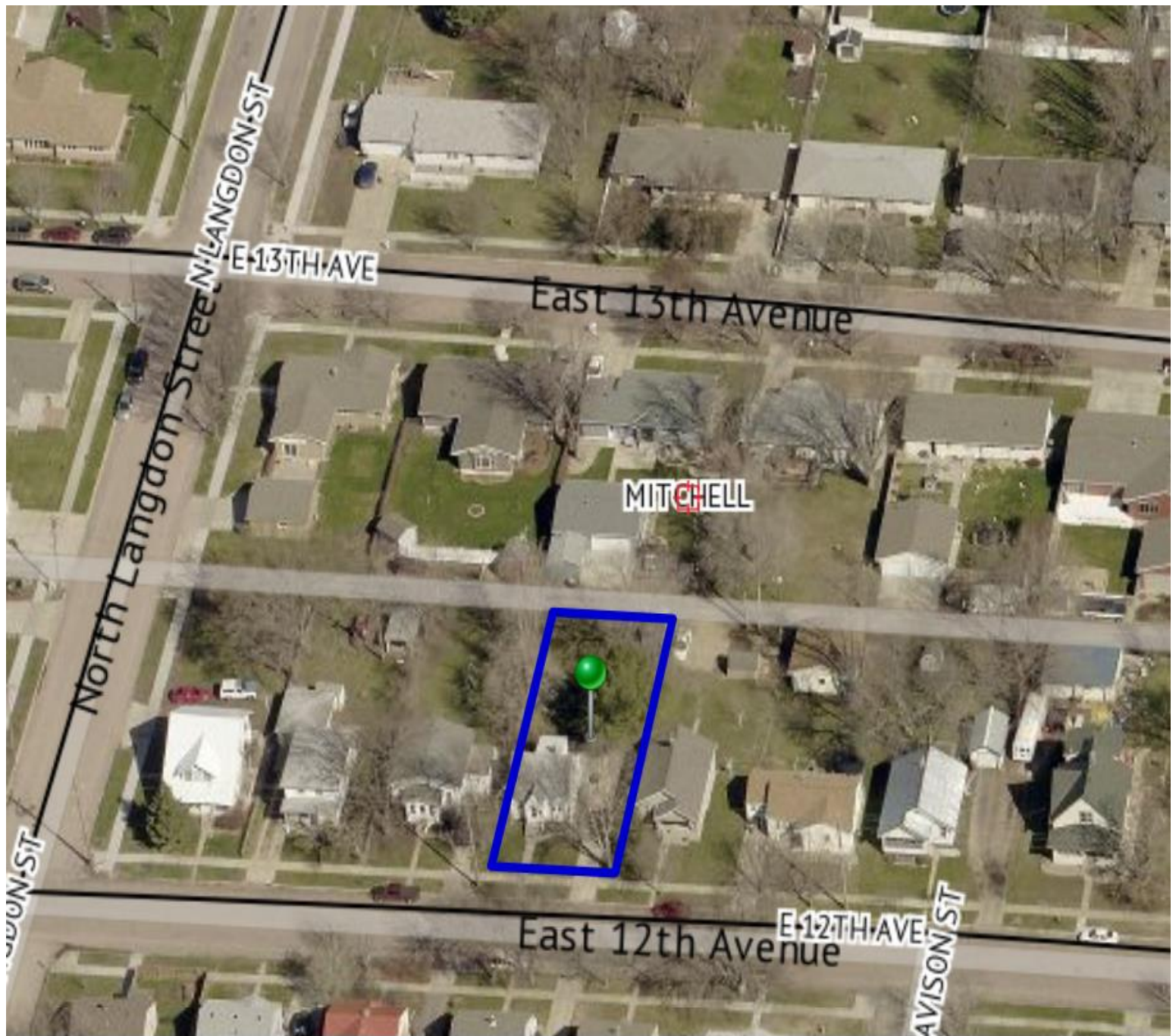
BEVERLY DVORAK
409 E 12TH
MITCHELL SD 57301

LANDON SAPP
413 E 12TH
MITCHELL SD 57301

LAURIE COOPER
LYNN METCALF
500 S EDMUNDS
MITCHELL SD 57301

DENNIS & SUE OLSON
421 E 12TH
MITCHELL SD 57301

FRANK & FOANNE FREIDRICK
501 E 12TH
MITCHELL SD 57301



Changes made to current commercial space

1. Replace the original door in the corner of the shop
2. Replace the windows along Lawler which are currently just boarded up
3. Remove the existing door
4. Place a wall around the furnace with still leaving enough room to make repairs if needed with a access door
5. Add walls for making space more useable and still having access to the bathroom (please see diagram
6. Install new 3 phase breaker box for new equipment being installed and to reduce current load on existing breaker box
7. Install sink basins in newly formed area
8. Remove the current wall in place
9. Will be repainting the front wood and overhang.

The diagram provided gives an idea of what is currently there and an approximation of our plans for the newly formed walls.

I also provided pictures of the corner of the building and windows currently look like. I think the outside appearance of the building would be enhanced by removing the plywood and placing windows back in. Also adding the corner door will give the building a more inviting look for the business.

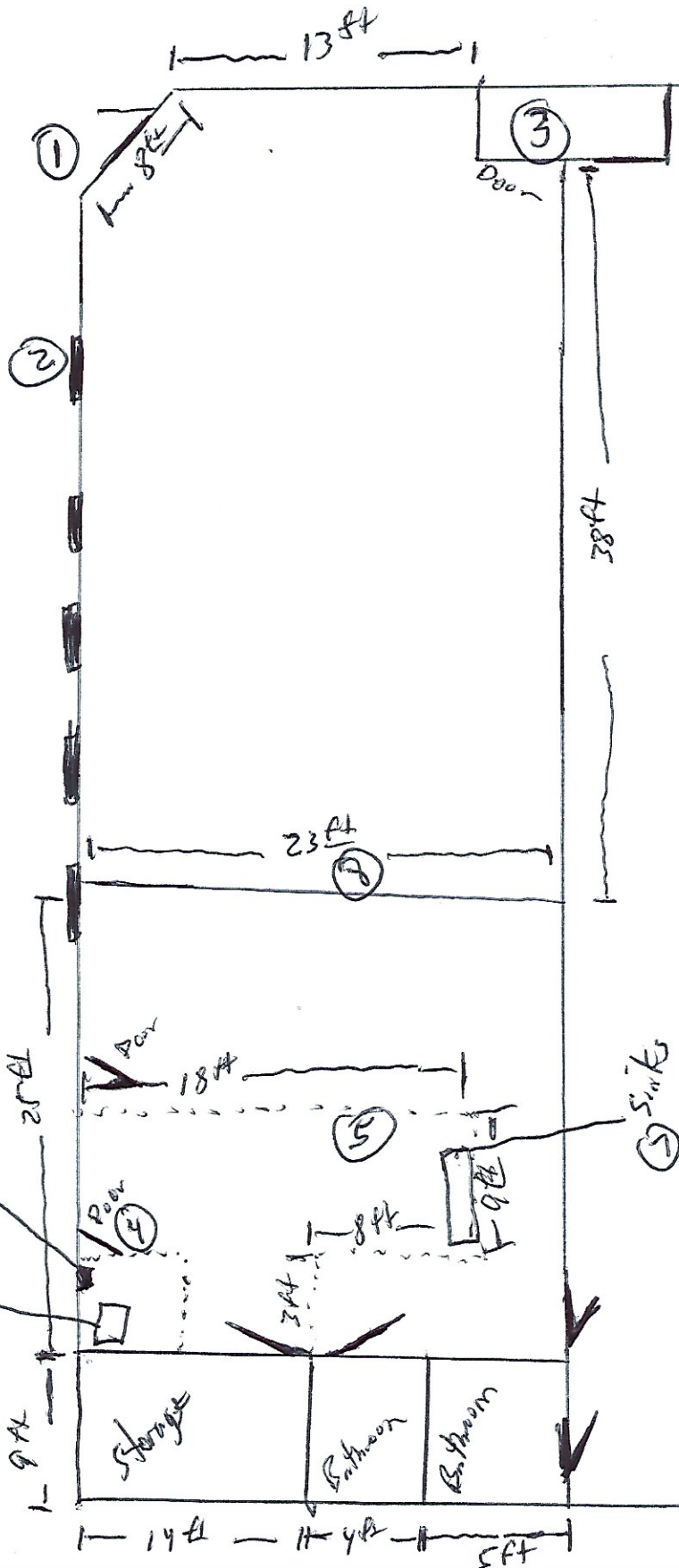
I did have conversations with Northwestern Energy and Bechen Electric about the electrical needs of the building and new equipment being installed.

2nd

201 E 2nd Ave

Lawler

6 New Barker
Box
Furnace







COLLEEN S JOHNSON
MARK S LOUDER
PO BOX 254
FT PIERRE SD 57532

HANSEN HOMES & RENTALS LLC
47152 276TH ST
HARRISBURG SD 57032

JANICE M MAUS
1605 10TH ST S
FARGO ND 57103

CLAYTON D & BARBARA R STRONG
1016 W 6TH AVE
MITCHELL SD 57301

JAMES & GRACE RADKE LAND LLC
324 FAIROAKS AVE
MITCHELL SD 57301

RYAN BUCK
1100 W 6TH AVE
MITCHELL SD 57301

THOMAS ALAN CATRON
1508 TORREY PINES AVE
MITCHELL SD 57301

JESSICA REZAC
1108 W 6TH AVE
MITCHELL SD 57301

THOMAS D & JULIE A FLOWERS
1109 W 6TH AVE
MITCHELL SD 57301

TRENT L HAGEN
1112 W 6TH AVE
MITCHELL SD 57301

CECIL E WILSON JR
1115 W 6TH AVE
MITCHELL SD 57301

BRUCE & MARLENE HAINES
25772 408TH AVE
MITCHELL SD 57301

ROBERT & MARLETT SNOOZY
1117 W 6TH AVE
MITCHELL SD 57301

MARY C BIGGERSTAFF
1120 W 6TH AVE
MITCHELL SD 57301

TRISTAN BAUER
1001 W 7TH AVE
MITCHELL SD 57301

DOUGLAS D & ANGELA K FUHRER
1003 W 7TH AVE
MITCHELL SD 57301

MICHAEL WILLIAM GROSZ
1017 W 7TH AVE
MITCHELL SD 57301

SAM TULIO
1021 W 7TH AVE
MITCHELL SD 57301

RONALD W FESSLER
1101 W 7TH AVE
MITCHELL SD 57301

VICTOR A & AMIE HONERMAN
1107 W 7TH AVE
MITCHELL SD 57301

JERI L MUTZIGER
1109 W 7TH AVE
MITCHELL SD 57301

JAMES D & NANCY C HALAJIAN
1113 W 7TH AVE
MITCHELL SD 57301

ROBERT A & BARBARA J WEBER
25421 406TH AVE
MITCHELL SD 57301

MARILYN RIES
1121 W 7TH AVE
MITCHELL SD 57301

APPLICATION FOR CONDITIONAL USE PERMIT

TO: THE MITCHELL PLANNING COMMISSION AND THE BOARD OF
ADJUSTMENT THE CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA.

The undersigned applicant(s) Kimberly Kluth and owners Dave & Lori Kluth are making an application for a conditional use permit (home occupation) pursuant to the provisions of the City of Mitchell Zoning Code as amended.

This Application is for the following described real property:

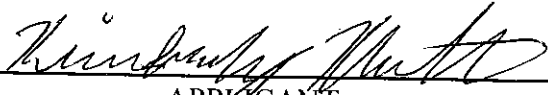
W ½ of Lot 6, Block 3, Bracy's Addition, City of Mitchell, Davison County, South Dakota (1106 W 6th Ave.)

Applicant(s) Kimberly Kluth of the above-described real estate, request(s) to operate a massage therapy business in her home. The said real property is zoned (R2) Single Family Residential District.

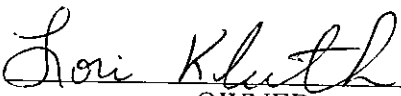
The names and addresses of the current property owners within one hundred and forty feet (140') of the applicant's property (excluding streets and alleys) will be notified upon the filing of this application.

Applicant(s) request that dates be set for public hearings before the Mitchell Planning Commission and the Board of Adjustment. Furthermore, the applicant requests the City of Mitchell to publish the appropriate notice(s) in accordance with the City of Mitchell's Ordinances.

Dated this 2 of April, 2019.



APPLICANT



OWNER

NOTICE OF HEARING

To: The Planning Commission, Board of Adjustment of the City of Mitchell, Mitchell South Dakota, and to the general public:

YOU ARE HEREBY NOTIFIED, that Kimberly Kluth has applied for a conditional use permit to operate a massage business at her residence located at 1106 W 6th Ave, legally W1/2 of Lot 6, Block 3, Bracy's Addition, City of Mitchell, Davison County, South Dakota. The said real property is zoned (R2) Single Family Residential Central Business District.

YOU ARE FURTHER NOTIFIED, that public hearings will be held by the Planning Commission on May 28, 2019 at 12:00 P.M and the Board of Adjustment on June 3, 2019 at 6:00 P.M., both meeting will held in the Council Chambers, Mitchell City Hall, 612 N Main St., Mitchell, South Dakota. All interested parties may attend the public hearings and provide comments in regards to the applicant's request.

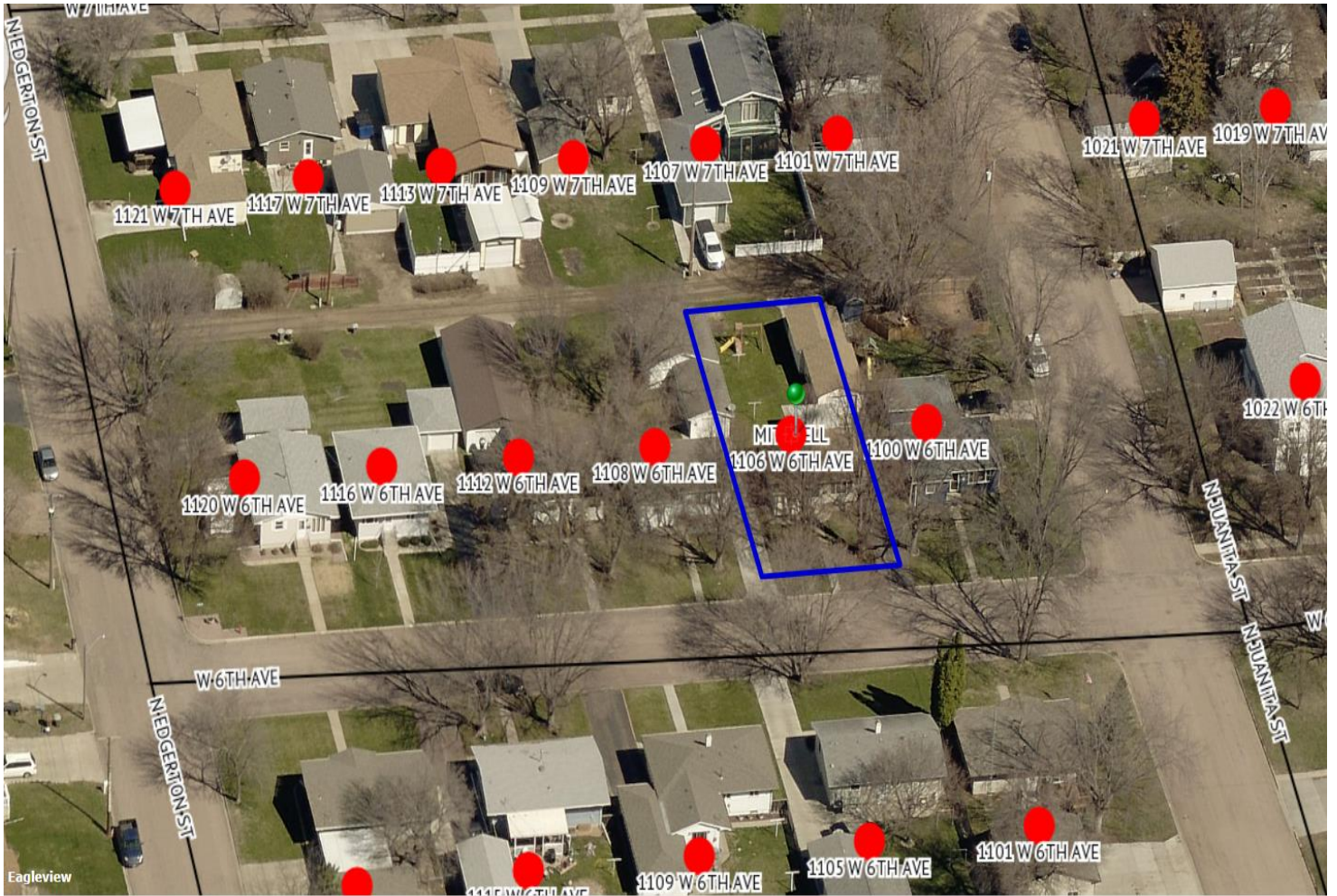
Dated at Mitchell, South Dakota, this 7th day of May 2019.

Michelle Bathke

FINANCE OFFICER

Publish twice: May 16 & May23, 2019

Approximate Cost:





1 Inch = 100 Feet

LEGEND

- - FOUND IRON MONUMENT
- - SET 5/8" X 18" REBAR WITH PLASTIC CAP NO. 8298
- 100' (P) - PLATTED BEARING OR DISTANCE
- 100' - MEASURED BEARING OR DISTANCE
- - SET NAIL
- ▲ - SET SURVEY SPIKE
- 4.00 CH (P) - PLATTED DISTANCE IN CHAINS
- - FOUND NAIL
- ◇ - SET 3/4" X 12" SPIKE W/WASHER POK-8298
- WM - WITNESS MONUMENT

PREPARED BY: PAUL C. KIEPKE, R.L.S.
2100 NORTH SARBORN BLVD. - P.O. BOX 398
MITCHELL, SOUTH DAKOTA 57301
PHONE: (605) 996-7761

COORDINATE SYSTEM IS SOUTH DAKOTA SOUTH
ZONE, STATE PLANE - NORTH AMERICAN
DATUM 1983 - GEOID 128.

NOTE:
THIS SURVEY WAS PERFORMED WITHOUT
THE BENEFIT OF A TITLE REPORT OR TITLE
COMMITMENT. EASEMENTS OF RECORD WERE
NOT RESEARCHED AND ARE NOT SHOWN
UNLESS OTHERWISE NOTED.

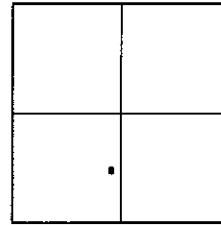
**EASEMENTS WITHIN LOT 3,
BLOCK 5 DEDICATED BY THIS PLAT:**

FRONT ALONG SNEAD AVENUE = 5'
UTILITY EASEMENT.

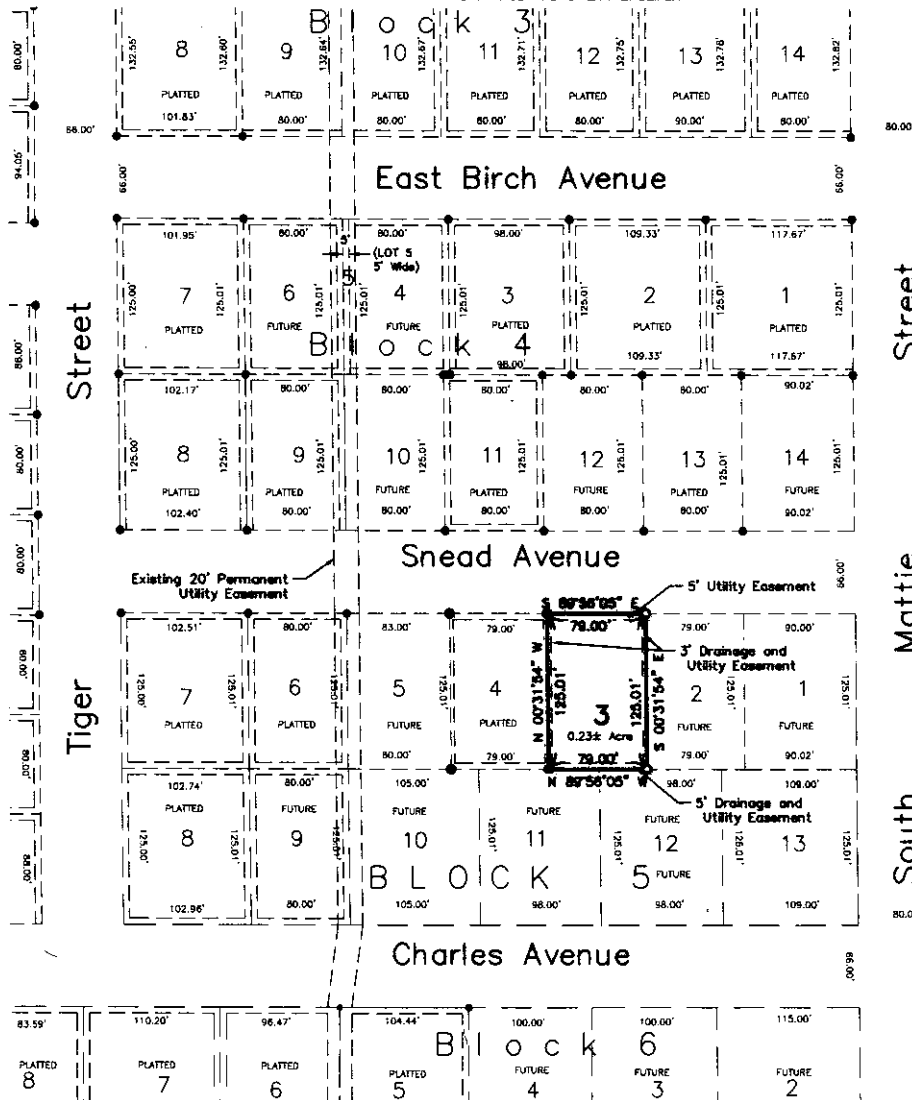
SIDES AS SHOWN = 3'
DRAINAGE AND UTILITY EASEMENT

REAR AS SHOWN = 5'
DRAINAGE AND UTILITY EASEMENT

SEC. 23, T 103 N, R 60 W



LOCATION MAP
SCALE: 1" = 3000'



A PLAT OF LOT 3, BLOCK 5 OF THE WOODS FIRST ADDITION, A SUBDIVISION OF THE EAST 1/2 OF THE SW 1/4 OF SECTION 23, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA

SURVEYOR'S CERTIFICATE

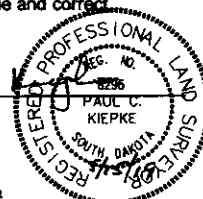
I, Paul C. Kiepke, the undersigned, do hereby certify that I am a Registered Land Surveyor in and for the State of South Dakota. At the request of CJM Consulting, Inc., a South Dakota corporation, as owner, and under its direction for purposes indicated therein, I did on or prior to May 15, 2019, survey those parcels of land described as follows: LOT 3, BLOCK 5 OF THE WOODS FIRST ADDITION, A SUBDIVISION OF THE EAST 1/2 OF THE SW 1/4 OF SECTION 23, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA.

In my professional opinion and to the best of my knowledge, information and belief, the within and foregoing plat is true and correct.
Dated this 15th day of May, 2019.

Registered Land Surveyor #SD8296

SPN

& Associates
Engineers, Planners and Surveyors
2100 North SARBORN Blvd. - P.O. Box 398 Mitchell, South Dakota 57301
Phone: (605) 996-7761 Fax: (605) 996-6015



A PLAT OF LOT 3, BLOCK 5 OF THE WOODS FIRST ADDITION, A SUBDIVISION OF THE EAST 1/2 OF THE SW 1/4 OF SECTION 23, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA

OWNER'S CERTIFICATE, DEDICATION AND AGREEMENT OF PROTECTION OF WATER

KNOW ALL MEN BY THESE PRESENTS that I, the undersigned, hereby certify that CJM Consulting, Inc., a South Dakota corporation, is the absolute and unqualified owner of all of the land included in the within and foregoing plat; the plat is of a parcel of ground located in THE EAST 1/2 OF THE SW 1/4 OF SECTION 23, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA; that the plat has been made at the request of CJM Consulting, Inc., a South Dakota corporation, and under its direction for the purposes indicated therein; which said property as so surveyed and platted shall hereafter be known as LOT 3, BLOCK 5 OF THE WOODS FIRST ADDITION, A SUBDIVISION OF THE EAST 1/2 OF THE SW 1/4 OF SECTION 23, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA, as shown by this plat; and CJM Consulting, Inc., a South Dakota corporation, hereby dedicates to the public, for public use forever as such, the streets and alleys, if any, as shown and marked on said plat; and that development of the land included within the boundaries of said Lot 3, Block 5 shall conform to all existing applicable zoning, subdivision, and erosion and sediment control regulations; further that there now exists Snead Avenue. Pursuant to SDCL 11-3-8.1 and 11-3-8.2 the developer of the property described within this plat shall be responsible for protecting any waters of the state located adjacent to or within such platted area from pollution from sewage from such subdivision and shall, in prosecution of such protections conform to and follow all regulations of the South Dakota Department of Environment and Natural Resources relating to the same. Additionally the developer of the property described within this plat shall be liable for any pollution that occurs from failure to execute such protections or follow such regulations, exception being those lots in subdivisions that show documentation that wastewater drainage shall be connected to a municipal system.

IN WITNESS WHEREOF, I have hereunto set my hand this _____ day of _____, 2019.

Charles J. Mauszycki, Jr., Vice President of CJM Consulting, Inc.,
a South Dakota corporation

CORPORATION ACKNOWLEDGMENT

STATE OF SOUTH DAKOTA)
)SS
COUNTY OF DAVISON)

On this, the _____ day of _____, 2019, before me, _____, the undersigned officer, personally appeared Charles J. Mauszycki, Jr., of CJM Consulting, Inc., a South Dakota corporation, and that he, as such Vice President, being authorized so to do, executed the foregoing instrument for the purposes therein contained, by signing the name of the corporation by himself as Vice President.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

Notary Public, South Dakota
My Commission Expires: _____

RESOLUTION OF CITY PLANNING COMMISSION

WHEREAS, the plat of LOT 3, BLOCK 5 OF THE WOODS FIRST ADDITION, A SUBDIVISION OF THE EAST 1/2 OF THE SW 1/4 OF SECTION 23, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA, prepared by Paul C. Kiepk, duly licensed Land Surveyor in and for the State of South Dakota, heretofore filed in the office of the City Finance Officer of Mitchell, South Dakota, has been submitted to the City Planning Commission of the said City of Mitchell, South Dakota; and

WHEREAS, the City Planning Commission, in regular meeting assembled, had duly considered said plat and finds as a fact that said plat is in conformity and does not conflict with the Master Plan for the City of Mitchell, South Dakota, heretofore adopted by this Commission;

NOW THEREFORE, be it resolved by the City Planning Commission of Mitchell, South Dakota, that the plat of LOT 3, BLOCK 5 OF THE WOODS FIRST ADDITION, A SUBDIVISION OF THE EAST 1/2 OF THE SW 1/4 OF SECTION 23, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA, prepared by Paul C. Kiepk, a Land Surveyor, be and the same is hereby approved and its adoption by the City Council of the City of Mitchell, South Dakota, is hereby recommended.

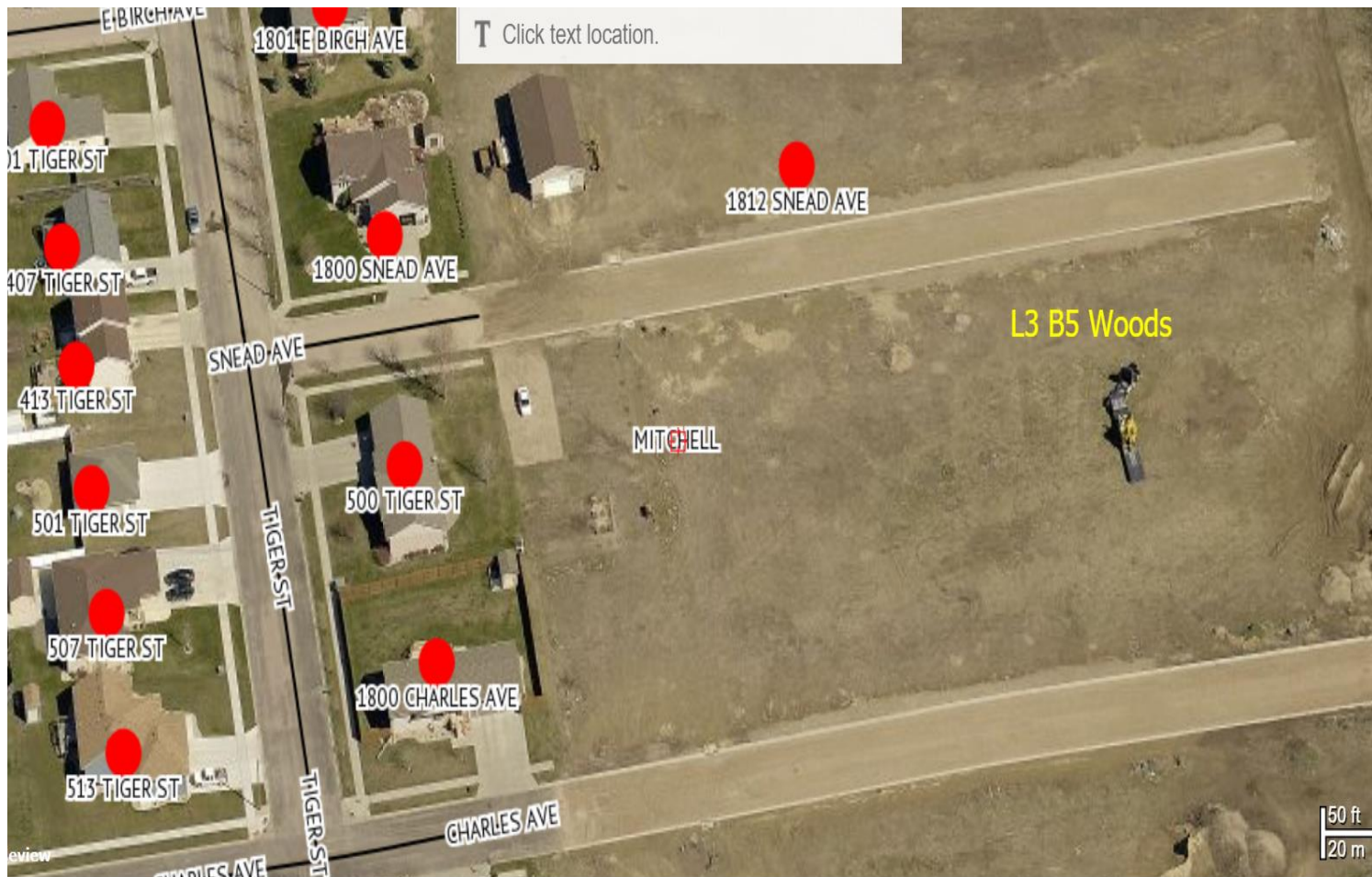
The undersigned does hereby certify that the foregoing resolution was passed by the City Planning Commission of Mitchell, South Dakota, at a meeting thereof held on the _____ day of _____, 2019.

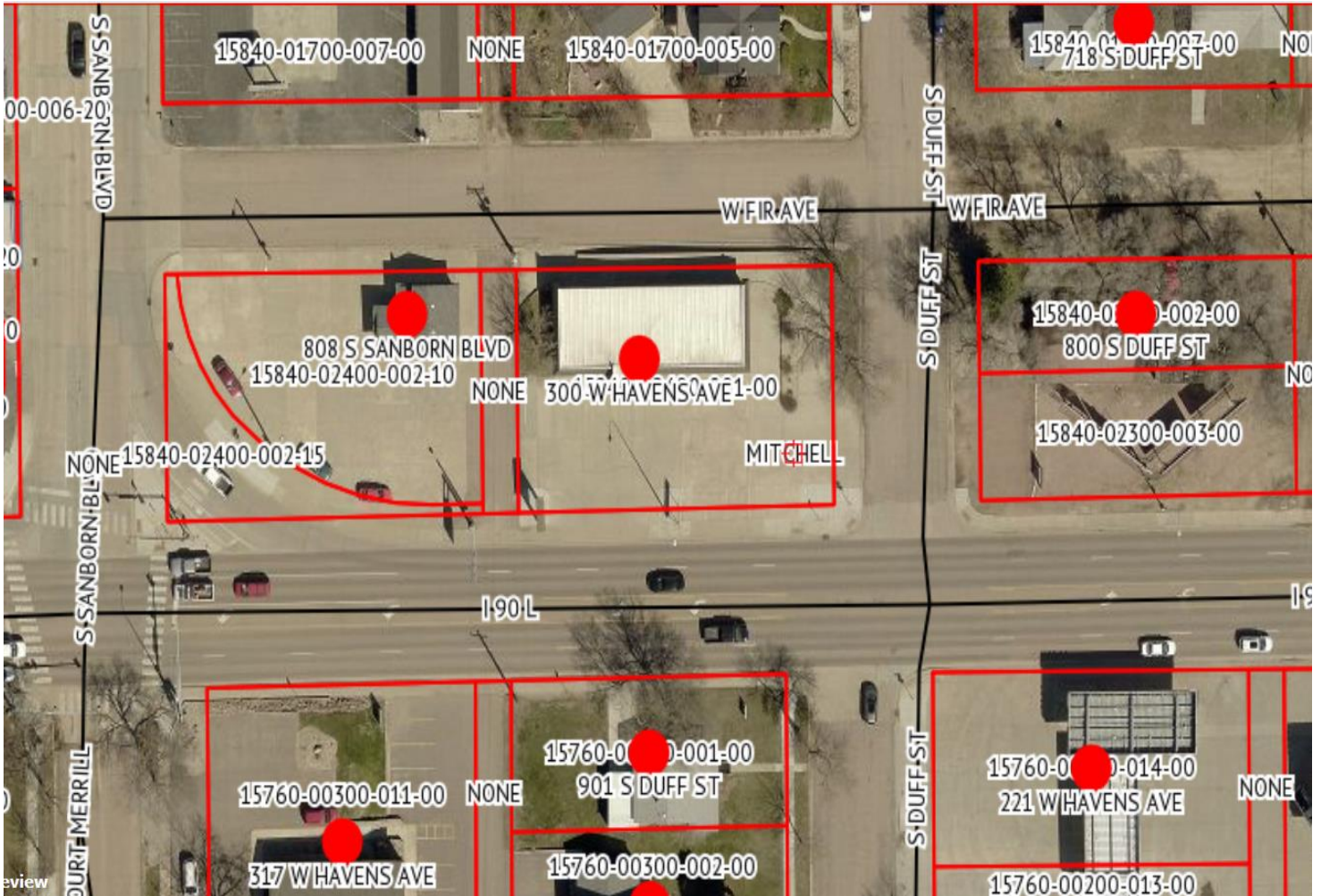
Chairman/Vice Chairman of the City of Mitchell
Planning Commission



SPN

& Associates
Engineers, Planners and Surveyors
2100 North Sanborn Blvd. - P.O. Box 398 Mitchell, South Dakota 57301
Phone: (605) 996-7761 Fax: (605) 996-0015





Rate

605.331.5773

Mitchell Realty

Ralph
Killer
999-1000

Fir

Street

Bldg

27.5' to curb

Duff Street

Current Building

25'

6' x 5' 5"
13.5 feet to curb

ET

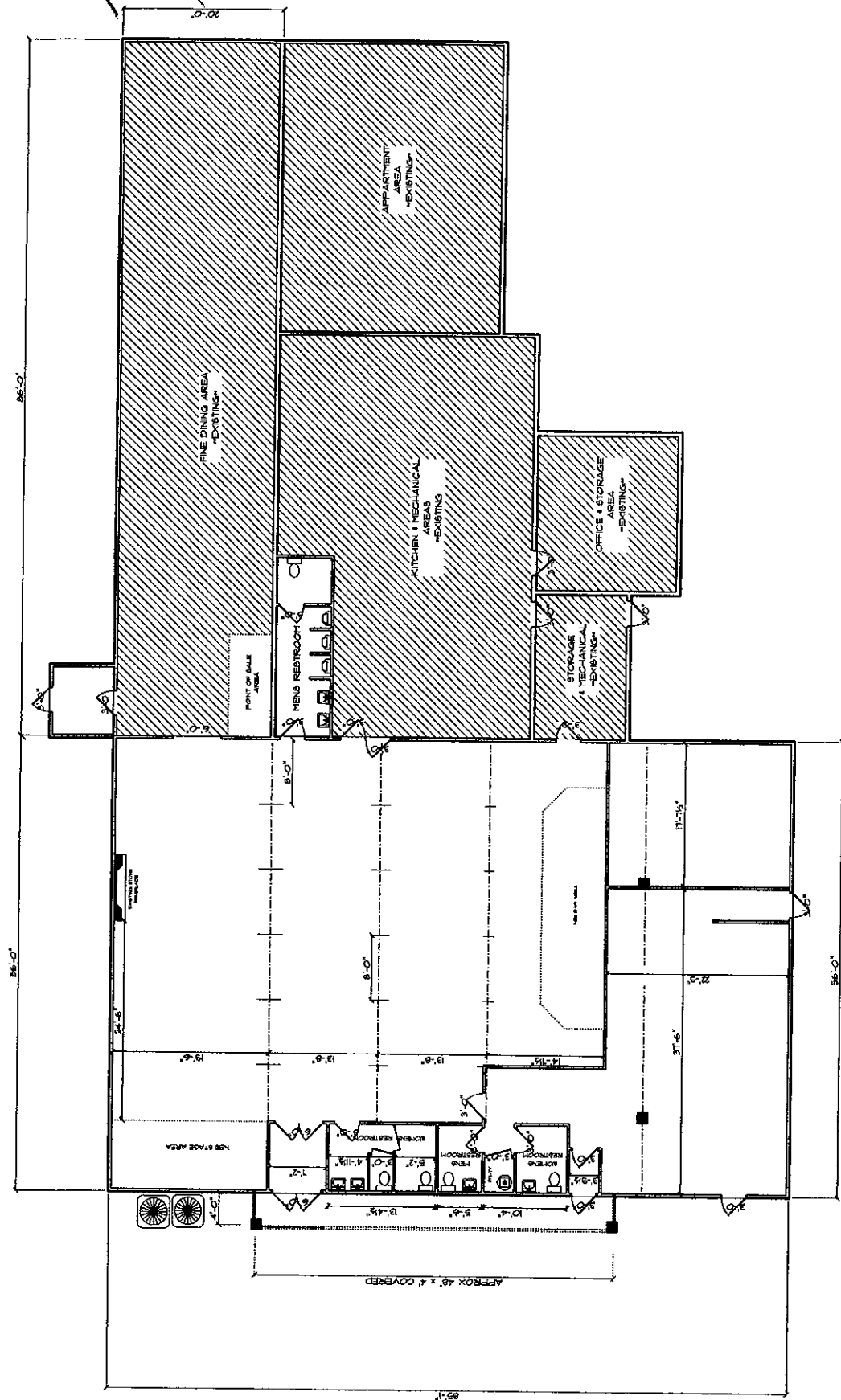
guaranteed Rate

The Home
Purchase Experts



PDF created with pdfFactory trial version www.pdffactory.com

Lake House



N

Patio Bar

~~10th~~

1500 N Main St
Mitchell, SD



800 N Kimball Street
Mitchell, SD 57301
P: 605.996.2276
F: 605.996.9126

Mitchell, SD

Revision	Description	Date
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Revision	Description	Date
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ST

Notes

1. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS.
2. CONSTRUCTION LIMITS SHALL BE WITHIN PROPORTIONS SHOWN IN THE DRAWINGS.
3. ALL DAMAGES DONE TO THE PROPERTY OF THE CITY SHALL BE REPAIRED TO ITS ORIGINAL CONDITION BY THE CONTRACTOR'S RESPONSIBLE PARTY.
4. ACCESS TO UTILITY LOCATIONS OUTSIDE OF THE PROJECT SHALL BE MAINTAINED AT ALL TIMES.
5. ALL METHODS AND APPROACHES SHALL MEET THE REQUIREMENTS OF THE CITY.
6. EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE EXISTING UTILITIES, ETC. THAT MAY OCCUR AS A RESULT OF THAT SUBCONTRACTOR'S WORK.
7. ANY DISCREPANCIES IN THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE ARCHITECT/ENGINEER'S ATTENTION FOR TABLE.

Index of Drawings

Code	Resolution	Code	Resolution
1.0	Slip Run	2.1	Door & Window Types & Schedule
2.0	Handrails	3.0	General Notes
2.1	Men/Lower Floor Plans		
2.2	Enlarged Floor Plans		
2.3	Sectional Views		
2.4	Site Orientation & Context		
2.5	Wall Sections		
2.6			
2.7			

Materials Symbols

ITEM	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL PRICE	REMARKS
1	CEMENT	MT	100	1.20	120.00	CEMENT 42.5
2	SAND	MT	200	0.80	160.00	SAND 0/4
3	GRAVEL	MT	150	1.50	225.00	GRAVEL 10/20
4	STEEL BAR	MT	50	2.50	125.00	STEEL BAR 12
5	CONCRETE	MT	100	1.80	180.00	CONCRETE 150/200
6	BRICK	MT	1000	0.50	500.00	BRICK 180/90
7	ROOF TILE	MT	100	1.00	100.00	ROOF TILE 300/450
8	WATER PIPE	MT	10	1.00	10.00	WATER PIPE 1/2"
9	ELECTRICAL WIRE	MT	10	1.00	10.00	ELECTRICAL WIRE 1/2"
10	PAINT	MT	10	1.00	10.00	PAINT 1/2"
11	GLASS	MT	10	1.00	10.00	GLASS 1/2"
12	DOOR	MT	10	1.00	10.00	DOOR 1/2"
13	WINDOW	MT	10	1.00	10.00	WINDOW 1/2"
14	ROOFING	MT	10	1.00	10.00	ROOFING 1/2"
15	PLASTER	MT	10	1.00	10.00	PLASTER 1/2"
16	CEILING	MT	10	1.00	10.00	CEILING 1/2"
17	FLOORING	MT	10	1.00	10.00	FLOORING 1/2"
18	WALLING	MT	10	1.00	10.00	WALLING 1/2"
19	FOUNDATION	MT	10	1.00	10.00	FOUNDATION 1/2"
20	CONCRETE	MT	10	1.00	10.00	CONCRETE 1/2"
21	STEEL BAR	MT	10	1.00	10.00	STEEL BAR 1/2"
22	CEMENT	MT	10	1.00	10.00	CEMENT 1/2"
23	SAND	MT	10	1.00	10.00	SAND 1/2"
24	GRAVEL	MT	10	1.00	10.00	GRAVEL 1/2"
25	BRICK	MT	10	1.00	10.00	BRICK 1/2"
26	ROOF TILE	MT	10	1.00	10.00	ROOF TILE 1/2"
27	WATER PIPE	MT	10	1.00	10.00	WATER PIPE 1/2"
28	ELECTRICAL WIRE	MT	10	1.00	10.00	ELECTRICAL WIRE 1/2"
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33	ROOFING	MT	10	1.00	10.00	ROOFING 1/2"
34	PLASTER	MT	10	1.00	10.00	PLASTER 1/2"
35	CEILING	MT	10	1.00	10.00	CEILING 1/2"
36	FLOORING	MT	10	1.00	10.00	FLOORING 1/2"
37	WALLING	MT	10	1.00	10.00	WALLING 1/2"
38	FOUNDATION	MT	10	1.00	10.00	FOUNDATION 1/2"
39	CONCRETE	MT	10	1.00	10.00	CONCRETE 1/2"
40	STEEL BAR	MT	10	1.00	10.00	STEEL BAR 1/2"
41	CEMENT	MT	10	1.00	10.00	CEMENT 1/2"
42	SAND	MT	10	1.00	10.00	SAND 1/2"
43	GRAVEL	MT	10	1.00	10.00	GRAVEL 1/2"
44	BRICK	MT	10	1.00	10.00	BRICK 1/2"
45	ROOF TILE	MT	10	1.00	10.00	ROOF TILE 1/2"
46	WATER PIPE	MT	10	1.00	10.00	WATER PIPE 1/2"
47	ELECTRICAL WIRE	MT	10	1.00	10.00	ELECTRICAL WIRE 1/2"
48	PAINT	MT	10	1.00	10.00	PAINT 1/2"
49	GLASS	MT	10	1.00	10.00	GLASS 1/2"
50	DOOR	MT	10	1.00	10.00	DOOR 1/2"
51	WINDOW	MT	10	1.00	10.00	WINDOW 1/2"
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53	PLASTER	MT	10	1.00	10.00	PLASTER 1/2"
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71	ROOFING	MT	10	1.00	10.00	ROOFING 1/2"
72	PLASTER	MT	10	1.00	10.00	PLASTER 1/2"
73	CEILING	MT	10	1.00	10.00	CEILING 1/2"
74	FLOORING	MT	10	1.00	10.00	FLOORING 1/2"
75	WALLING	MT	10	1.00	10.00	WALLING 1/2"
76	FOUNDATION	MT	10	1.00	10.00	FOUNDATION 1/2"
77	CONCRETE	MT	10	1.00	10.00	CONCRETE 1/2"
78	STEEL BAR	MT	10	1.00	10.00	STEEL BAR 1/2"
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80	SAND	MT	10	1.00	10.00	SAND 1/2"
81	GRAVEL	MT	10	1.00	10.00	GRAVEL 1/2"
82	BRICK	MT	10	1.00	10.00	BRICK 1/2"
83	ROOF TILE	MT	10	1.00	10.00	ROOF TILE 1/2"
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94	WALLING	MT	10	1.00	10.00	WALLING 1/2"
95	FOUNDATION	MT	10	1.00	10.00	FOUNDATION 1/2"
96	CONCRETE	MT	10	1.00	10.00	CONCRETE 1/2"
97	STEEL BAR	MT	10	1.00	10.00	STEEL BAR 1/2"
98	CEMENT	MT	10	1.00	10.00	CEMENT 1/2"
99	SAND	MT	10	1.00	10.00	SAND 1/2"
100	GRAVEL	MT	10	1.00	10.00	GRAVEL 1/2"

Watermark Symbols

BRICK	CONCRETE	GRAVEL FILL	EARTH	REINFORCED STEEL	WOOD	PLANK FLOOR	BATT ROCK	GLASS	STONE	BRICK	GLASS
(Pattern may vary)											

Detail Indication

FIG. 10-1. DETAIL INDICATION SYMBOLS. (A) DETAIL PLAN REFERENCE. (B) DETAIL SECTION REFERENCE. (C) BUILDING SECTION REFERENCE. (D) BUILDING ELEVATION REFERENCE. (E) NETNOTE. (F) ROOM TAG. (G) CEILING TAG. (H) INTERIOR ELEVATION REFERENCE. (I) EXTERIOR ELEVATION REFERENCE. (J) DOOR TAG. (K) WINDOW TAG. (L) WALL TAG. (M) SPOUT ELEVATION REFERENCE. (N) REFERENCE GRID. (O) DOOR TAG GRID. (P) CEILING TAG GRID. (Q) EXTERIOR ELEVATION REFERENCE. (R) INTERIOR ELEVATION REFERENCE. (S) DOOR TAG GRID. (T) CEILING TAG GRID. (U) EXTERIOR ELEVATION REFERENCE. (V) INTERIOR ELEVATION REFERENCE. (W) DOOR TAG GRID. (X) CEILING TAG GRID. (Y) EXTERIOR ELEVATION REFERENCE. (Z) INTERIOR ELEVATION REFERENCE.

FIG. 10-2. DETAIL INDICATION SYMBOLS. (A) DETAIL PLAN REFERENCE. (B) DETAIL SECTION REFERENCE. (C) BUILDING SECTION REFERENCE. (D) BUILDING ELEVATION REFERENCE. (E) NETNOTE. (F) ROOM TAG. (G) CEILING TAG. (H) INTERIOR ELEVATION REFERENCE. (I) EXTERIOR ELEVATION REFERENCE. (J) DOOR TAG. (K) WINDOW TAG. (L) WALL TAG. (M) SPOUT ELEVATION REFERENCE. (N) REFERENCE GRID. (O) DOOR TAG GRID. (P) CEILING TAG GRID. (Q) EXTERIOR ELEVATION REFERENCE. (R) INTERIOR ELEVATION REFERENCE. (S) DOOR TAG GRID. (T) CEILING TAG GRID. (U) EXTERIOR ELEVATION REFERENCE. (V) INTERIOR ELEVATION REFERENCE. (W) DOOR TAG GRID. (X) CEILING TAG GRID. (Y) EXTERIOR ELEVATION REFERENCE. (Z) INTERIOR ELEVATION REFERENCE.

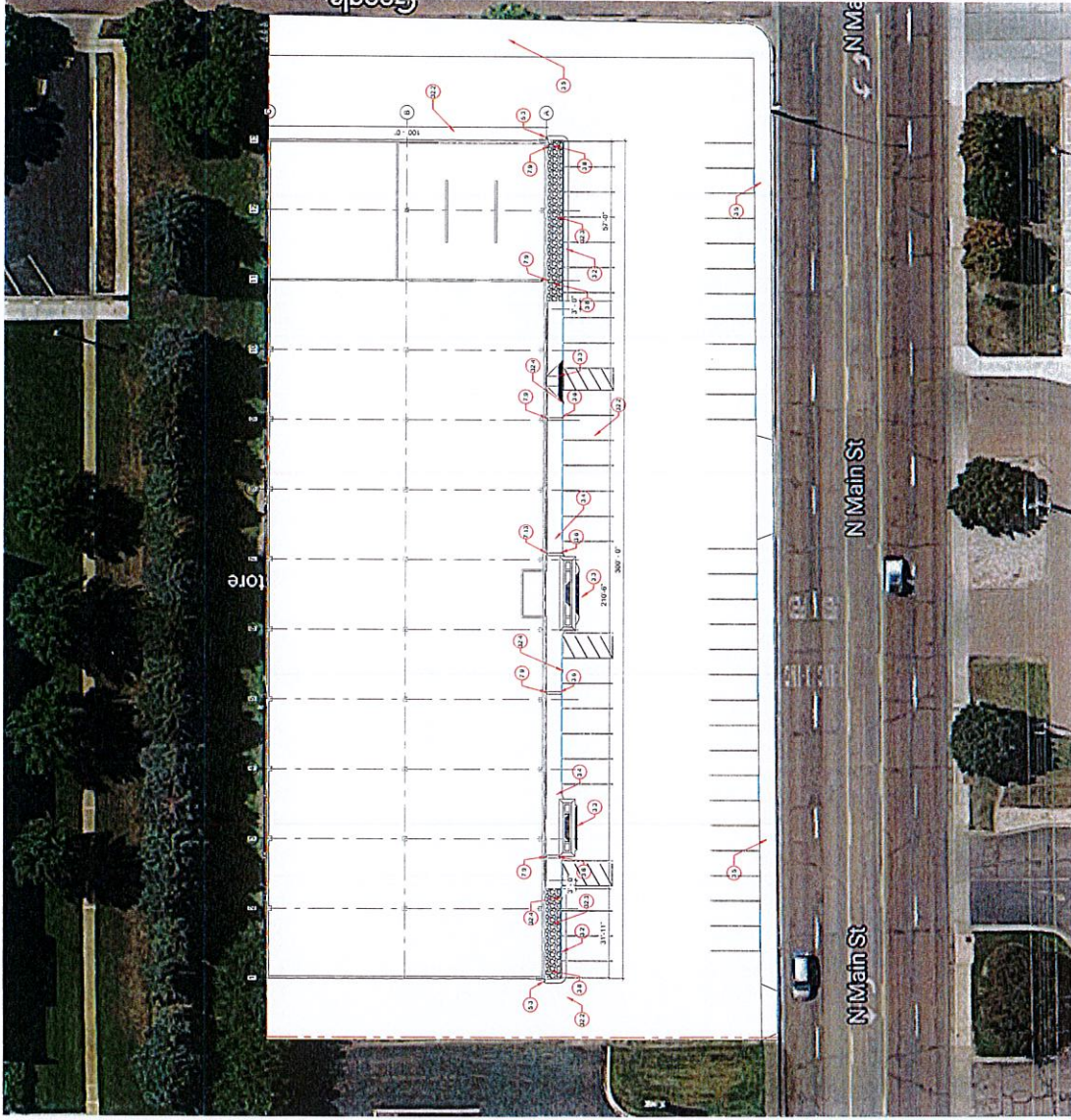
Vicinity Map

Project Directory	Address	Phone
DESIGN/BUILDERS		
Public Corporation	800 N. Terminal, Detroit, MI 48201	(408) 999-2276
STRUCTURAL ENGINEER		
Mechanical Engineer		
ELECTRICAL ENGINEER		
CIVIL ENGINEER		
ENVIRONMENTAL ENGINEERING		

[DIGITAL USERS](#)

PLAN NOTES

- 3.4 NEW CONCRETE 8" CURB AND GUTTER
- 3.5 NEW CONCRETE ADA RAMP
- 3.6 NEW CONCRETE SIDEWALK TO PROPERTY LINE
- 3.7 CONCRETE SIDEWALK, EXISTING, TO REMAIN
- 3.8 CONCRETE DRAINAGE TRENCH CAST IN PLACE WITH METAL TRENCH COVER
- 3.9 BOLLARD, CONCRETE FILLED PLASTIC COVER, 36" H
- 3.10 SALVAGED DOWNPOUT REINSTALL IN SAME LOCATION UNDO
- 3.11 ASPHALT PAVING PATCH AS NEEDED
- 3.12 ASPHALT PAVING PATCH AS NEEDED
- 3.13 HANDCOPED SPOT PATCHES AND REINSTALL



1 SITE PLAN - NEW
1" = 20'-0"

GENERAL SITE PLAN NOTES

- A ALL UNDERGROUND UTILITIES MUST BE PHYSICALLY LOCATED BEFORE ANY CONSTRUCTION BEGINS
- B CONSTRUCTION SHALL BE COMPLETED BY THE DATE SHOWN IN THIS CONTRACT
- C RELOCATION OF EXISTING SIGNAGE BY OWNER
- D ALL STOPPING WITHIN THE TOWNSHIP OF AN ASPHALT PATCHES SHALL BE PATCHED IN

DESIGNER'S SEAL
CLICK HERE FOR FLOOR PLAN

Drawn By
Created By
Date: 05/20/2019

A1.0

Revision Schedule
No. Description Date

Site Plan
Unclaimed Freight Furniture
1500 N Main St
Mitchell, SD

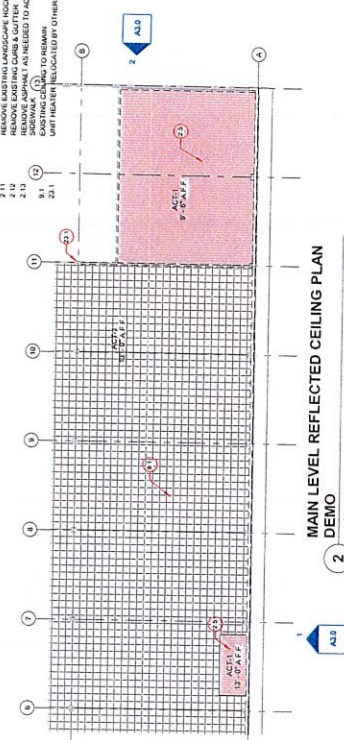
Check Set
05/20/2019

Puetz
CORPORATION
Architectural • Development
Consulting • Construction

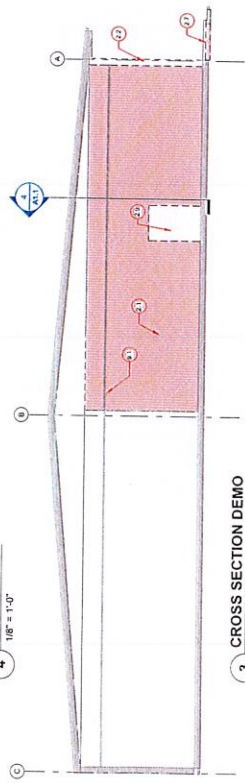
800 N Kimball Street
Mitchell, SD 57301
P: 605.996.2276
F: 605.996.9126

PLAN NOTES

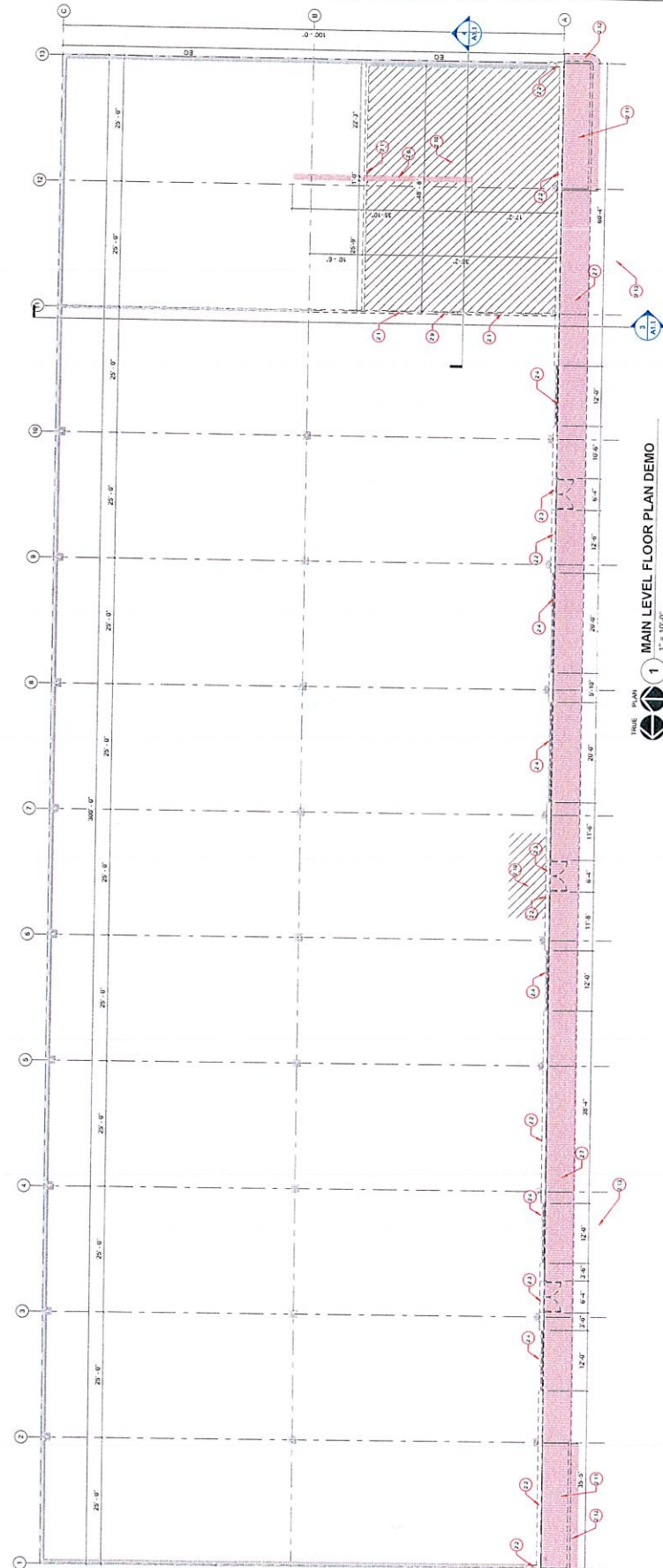
- 2.1 DEMO EXISTING WALL
- 2.2 REMOVE EXISTING EXTERIOR METAL PANEL
- 2.3 REMOVE EXISTING STUCCO AND ALL ASSOCIATED HARDWARE
- 2.4 REMOVE EXISTING STUCCO AND ALL ASSOCIATED HARDWARE
- 2.5 REMOVE EXISTING CEILING
- 2.6 DEMO CONCRETE FLOOR TO ALLOW FOR ELECTRICAL
- 2.7 EXISTING OPENINGS TO REMAIN IN SAME LOCATION IN NEW WALL
- 2.8 REMOVE EXISTING LANDSCAPE TREES
- 2.9 REMOVE EXISTING LANDSCAPE TREES
- 2.10 REMOVE EXISTING CORN & GUTTER
- 2.11 REMOVE EXISTING CORN & GUTTER
- 2.12 REMOVE EXISTING CORN & GUTTER
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- 2.97 REMOVE EXISTING CORN & GUTTER
- 2.98 REMOVE EXISTING CORN & GUTTER
- 2.99 REMOVE EXISTING CORN & GUTTER
- 2.100 REMOVE EXISTING CORN & GUTTER



4 BED SECTION DEMO
1/8\"/>



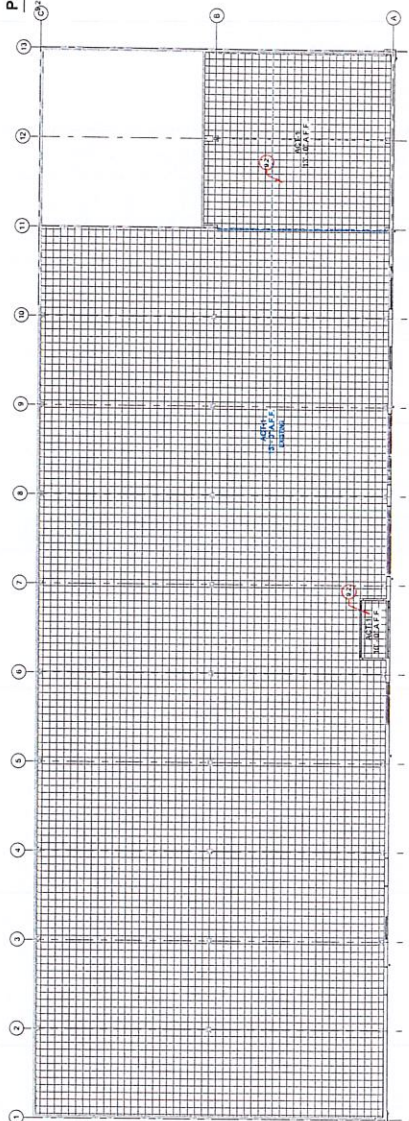
3 CROSS SECTION DEMO
1/8\"/>



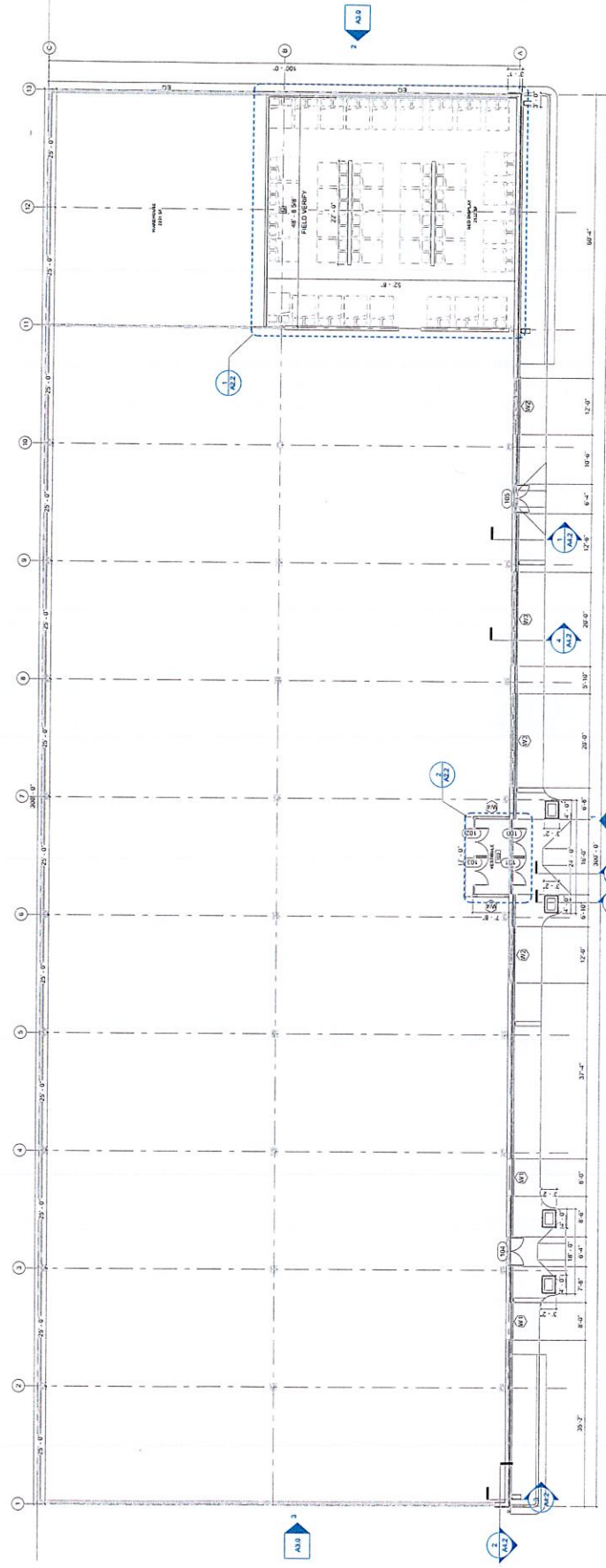
1 MAIN LEVEL FLOOR PLAN DEMO
1\"/>

PLAN NOTES

CEILING PROVIDED AND INSTALLED BY OTHERS



MAIN LEVEL REFLECTED CEILING PLAN
NEW
1/16" = 1'-0"



GENERAL FLOOR PLAN NOTES
INTERIOR & EXTERIOR DIMENSIONS ARE TO FACE OF STUD. U.N.O.
A. INTERIOR DIMENSIONS
B. EXTERIOR DIMENSIONS
C. SEE SHEET A2.1 FOR DOOR SCHEDULE

1 MAIN LEVEL FLOOR PLAN NEW
3/32" = 1'-0"



A2.0

Quantity:
Date: 05/20/2019

Revision Schedule
No. Description Date

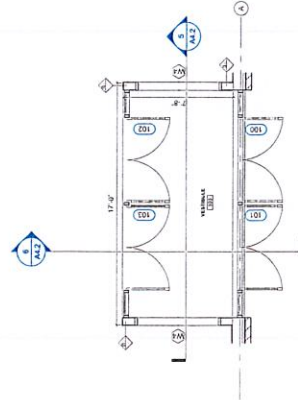
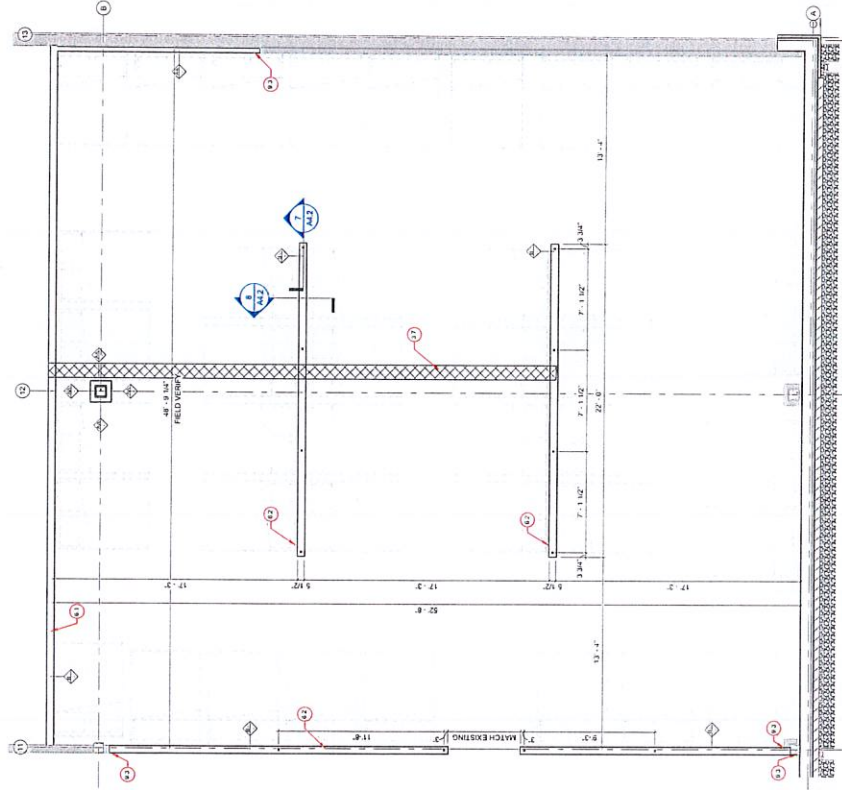
Unclaimed Freight Furniture
1500 N Main St
Mitchell, SD
Main Level Floor Plan

Check Set
05/20/2019

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Mitchell, SD 57301
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F: 605.996.9126

PLAN NOTES

- 3.1 FINISH CONCRETE
- 6.1 2x6 WOOD FRAME WALL, 16" O.C. WAREHOUSE SIDE, O.P. NOT FINISHED
- 6.2 2x6 WOOD STUD WALL, 4" O.T. TALL W/ STUDS 16" O.C. SEE DETAILS
- 6.3 PARTIAL WALLS TO MATCH EXISTING

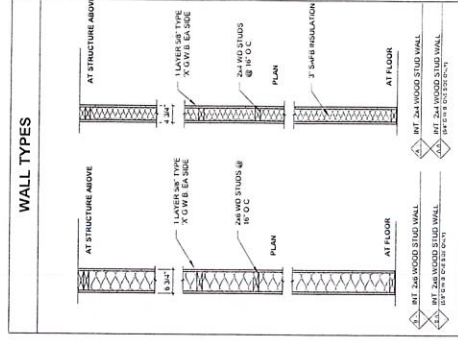


1 BED DISPLAY - ENLARGED
1/4" = 1'-0"

2 VESTIBULE - ENLARGED
1/4" = 1'-0"

GENERAL FLOOR PLAN NOTES

1. INTERIOR & EXTERIOR DIMENSIONS ARE TO FACE OF STUD, U.N.D.
2. SEE SHEET A-1 FOR DOOR SCHEDULE
3. SEE SHEET A-1 FOR DOOR SCHEDULE



WALL TYPES

Unclimbed Freight Furniture
1500 N Main St
Mitchell, SD

Revision Schedule
No. Description Date

05/20/2019
Date: 05/20/2019

A2.2

Check Set
05/20/2019

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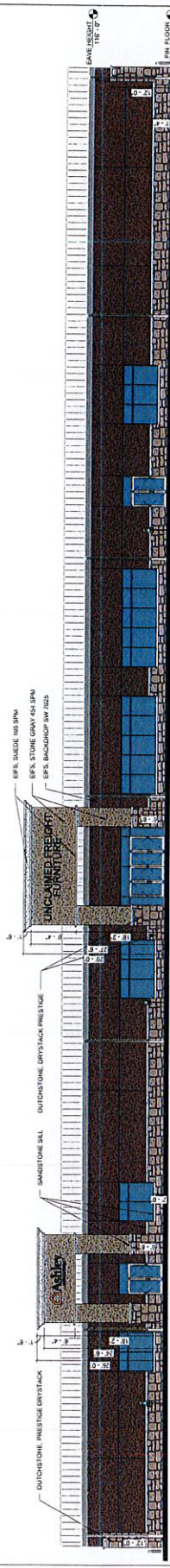
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 05/20/2019

Unclaimed Freight Furniture
 1500 N Main St
 Mitchell, SD
 Exterior Elevations

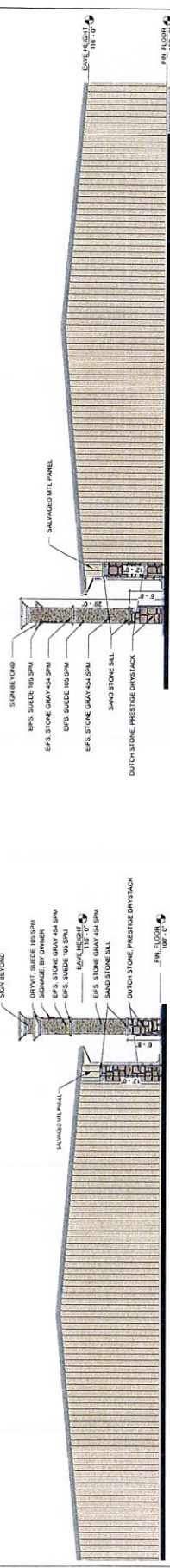
Revision Schedule		
No.	Description	Date
1	Issue for Permit	05/20/2019
2	Issue for Construction	05/20/2019
3	Issue for Final	05/20/2019

A3.0

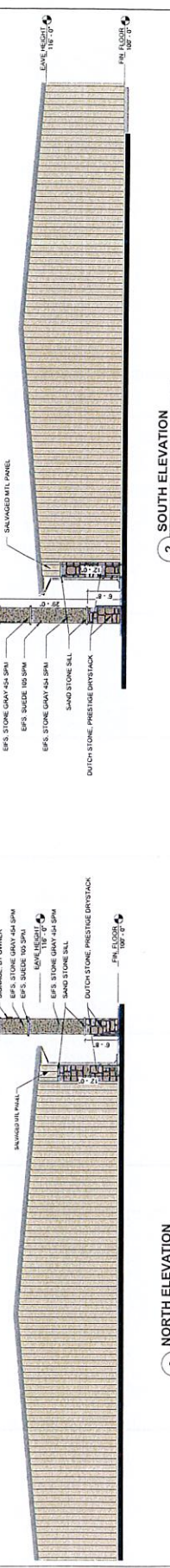
DOUBLE LINES
 CLICK HERE FOR FLOOR PLAN



1 WEST ELEVATION
 1" = 10'-0"



2 SOUTH ELEVATION
 1" = 10'-0"



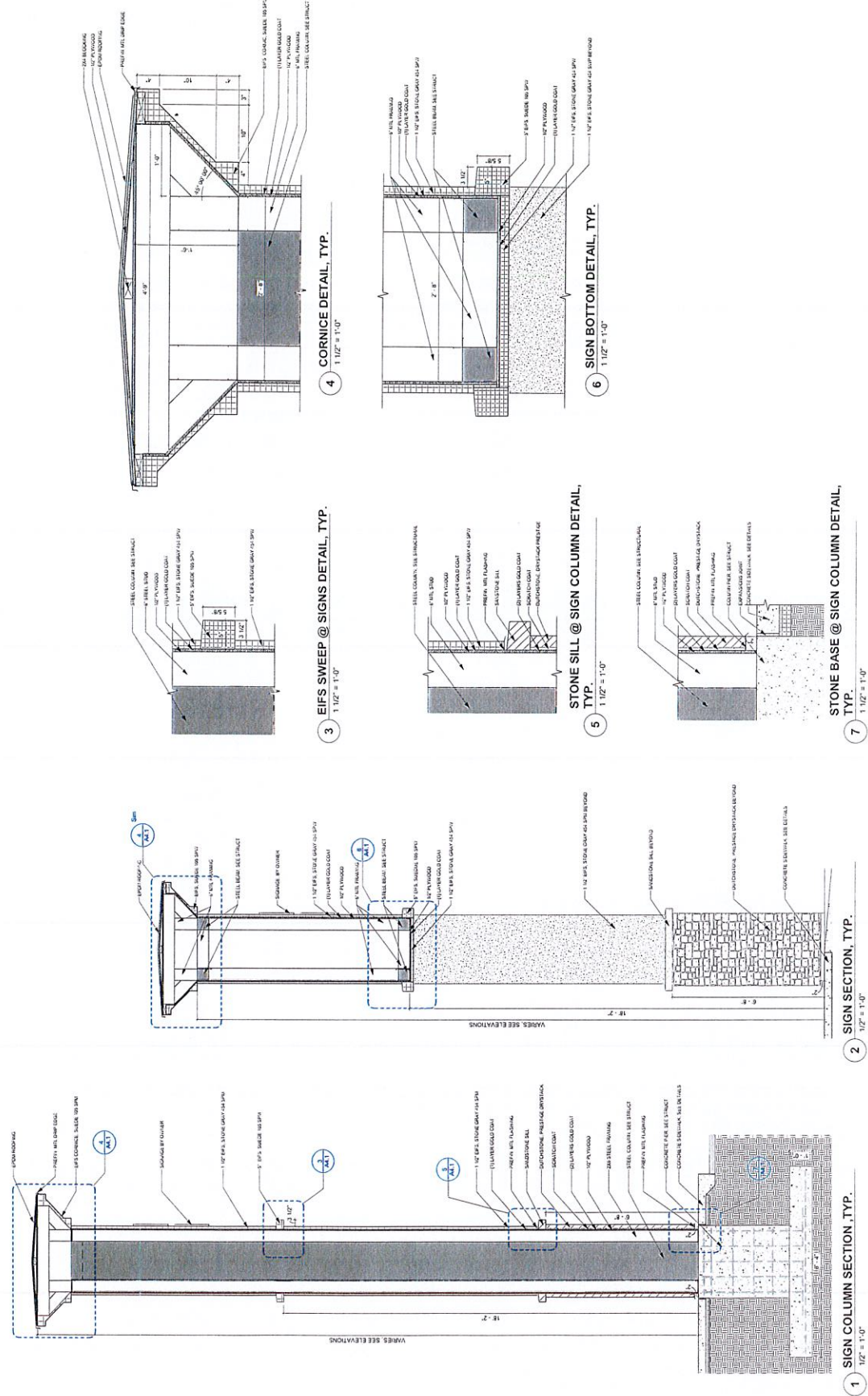
3 NORTH ELEVATION
 1" = 10'-0"

Check Set
05/20/2019

Unclaimed Freight Furniture
1500 N Main St
Mitchell, SD

Revision Schedule	
No.	Description
1	05/20/2019
2	05/20/2019
3	05/20/2019
4	05/20/2019
5	05/20/2019
6	05/20/2019
7	05/20/2019

A4.1



CLICK HERE FOR FLOOR PLAN

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Mitchell, SD 57301
P: 605.996.2276
F: 605.996.9126

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CORPORATION
Consulting • Development
Architecture • Construction

Check Set
05/20/2019

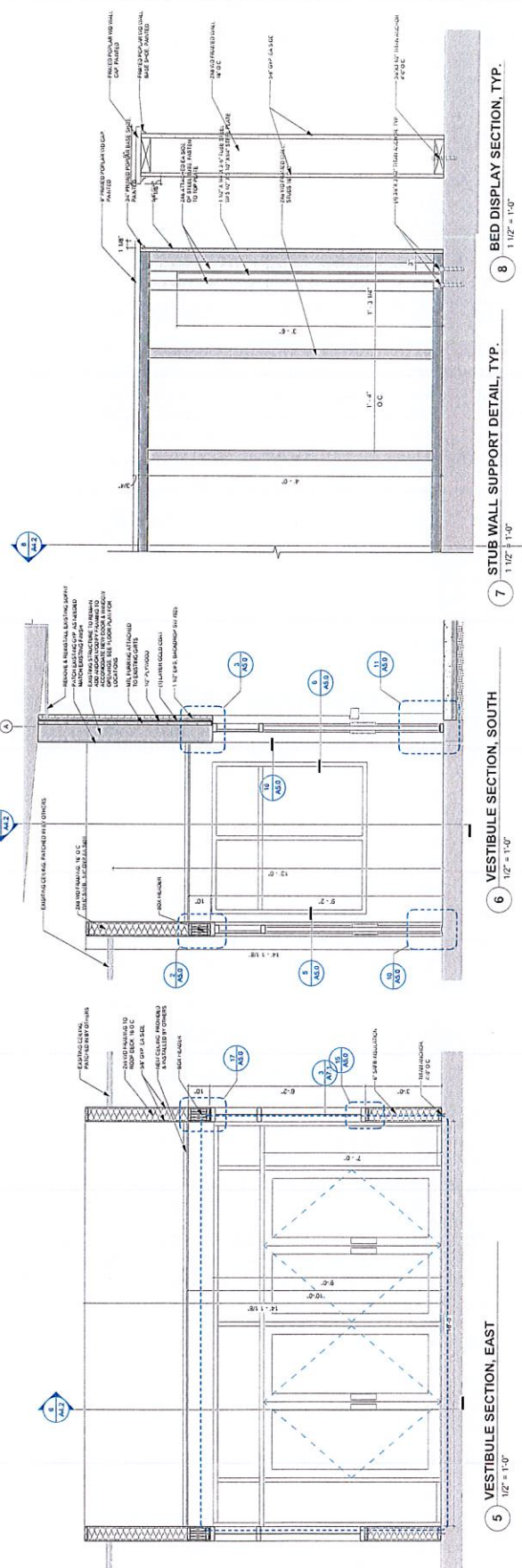
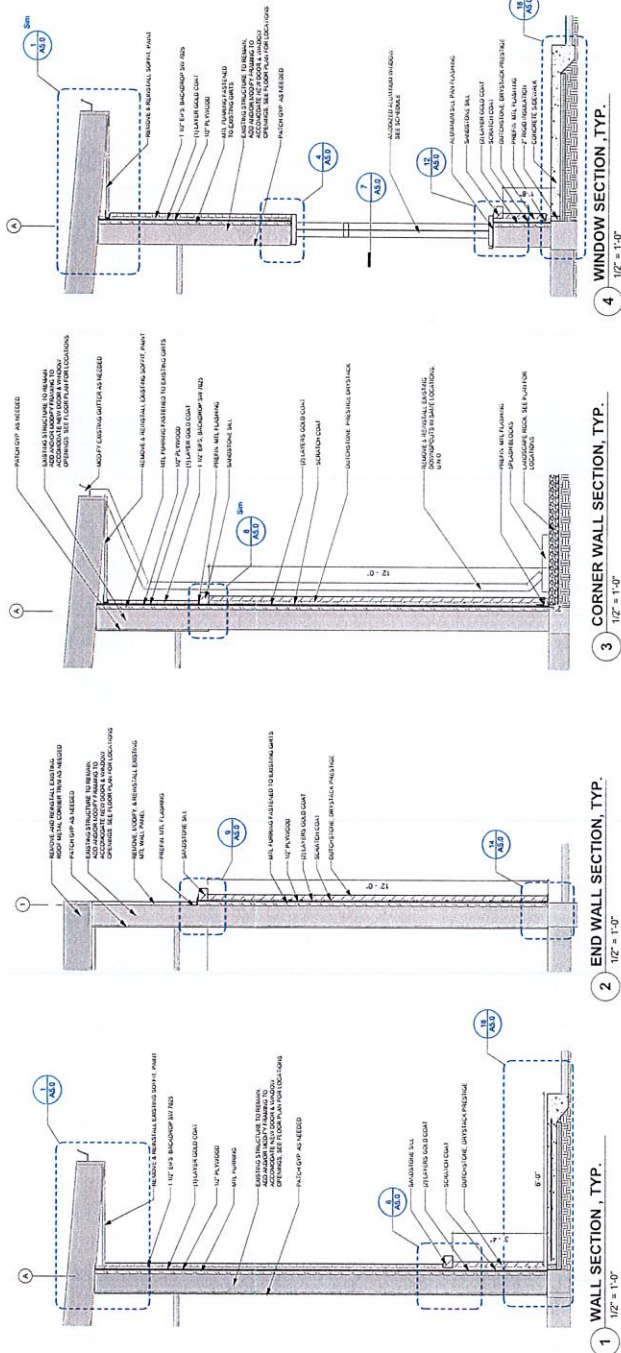
Unclaimed Freight Furniture
1500 N Main St
Mitchell, SD

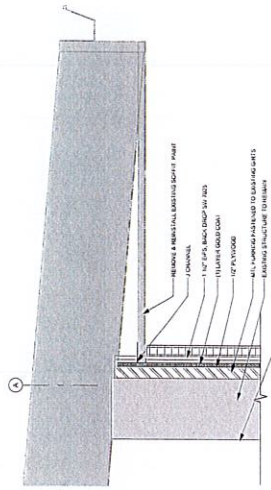
Revision Schedule
No. Description Date

University
Checked By
Date: 05/20/2019

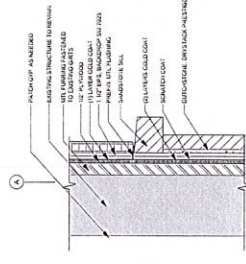
A4.2

DETAILS
CLICK HERE FOR FLOOR PLAN



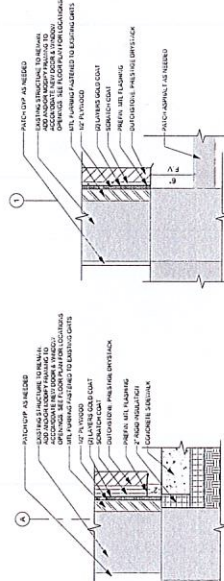


1 SOFFIT DETAIL, TYP.
1 1/2" = 1'-0"



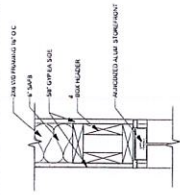
8 STONE SILL DETAIL, TYP.
1 1/2" = 1'-0"

9 STONE SILL @ END WALL DETAIL, TYP.
1 1/2" = 1'-0"

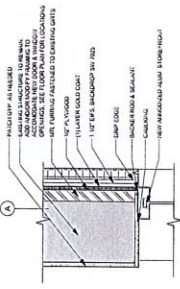


13 STONE BASE DETAIL, TYP.
1 1/2" = 1'-0"

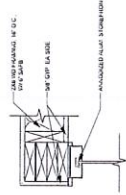
14 STONE BASE @ END WALL DETAIL, TYP.
1 1/2" = 1'-0"



2 INT. STOREFRONT HEAD DETAIL, TYP.
1 1/2" = 1'-0"

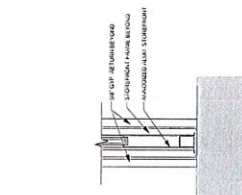


3 STOREFRONT HEAD DETAIL, TYP.
1 1/2" = 1'-0"



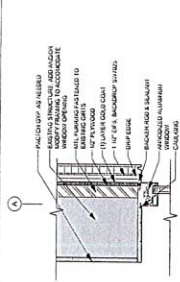
5 INT. STOREFRONT JAMB DETAIL, TYP.
1 1/2" = 1'-0"

6 STOREFRONT JAMB DETAIL, TYP.
1 1/2" = 1'-0"

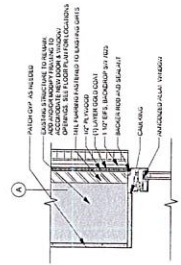


10 INT. STOREFRONT SILL DETAIL, TYP.
1 1/2" = 1'-0"

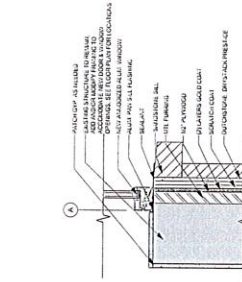
11 STOREFRONT THRESHOLD DETAIL, TYP.
1 1/2" = 1'-0"



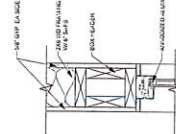
4 WINDOW HEAD DETAIL, TYP.
1 1/2" = 1'-0"



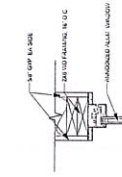
7 WINDOW JAMB DETAIL, TYP.
1 1/2" = 1'-0"



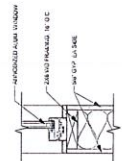
12 WINDOW SILL DETAIL, TYP.
1 1/2" = 1'-0"



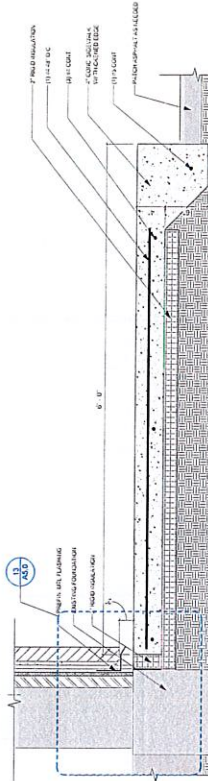
17 INT. WINDOW HEAD DETAIL, TYP.
1 1/2" = 1'-0"



16 INT. WINDOW JAMB DETAIL, TYP.
1 1/2" = 1'-0"



15 INT. WINDOW SILL DETAIL, TYP.
1 1/2" = 1'-0"



18 SIDEWALK DETAIL, TYP.
1 1/2" = 1'-0"

LEGEND: SEE PLAN
CLICK HERE FOR FLOOR PLAN

A5.0

Checked By: 05/20/2019
Date: 05/20/2019

Revision Schedule
No. Description Date

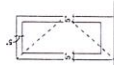
Unclaimed Freight Furniture
1500 N Main St
Mitchell, SD

Check Set
05/20/2019

Puetz
Consulting • Development
CORPORATION

800 N Kimball Street
Mitchell, SD 57301
P: 605.996.2276
F: 605.996.9126

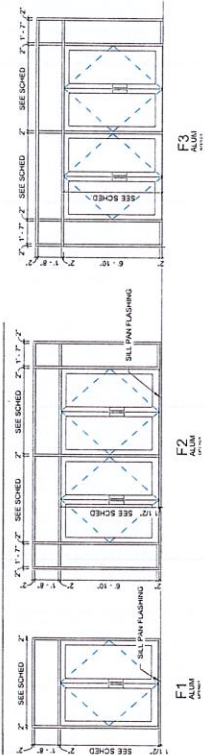
DOOR TYPES



FL
FLOOR LINE

NOTE:
1. FIRE RATED GLASS ON ALL RATED DOORS.
2. 1/2" MIN. CLEARANCE AT TOP & BOTTOM OF DOORS.
3. SEE SCHEDULE FOR HEIGHT & WIDTH OF DOORS.

FRAME TYPES

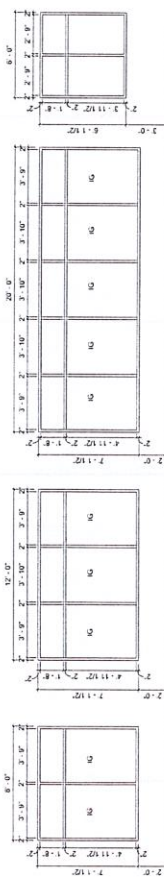


F1
ALUM

F2
ALUM

F3
ALUM

WINDOW TYPES



W1
ALUM

W2
ALUM

W3
ALUM

W4
ALUM

W1 - MIN. 1/2" GLASS
W2 - MIN. 1/2" GLASS
W3 - MIN. 1/2" GLASS
W4 - MIN. 1/2" GLASS

DOOR SCHEDULE

No.	Width	Height	Type	Material	Line	Type	Frame	Hardware	Fire	Remarks
100	6'-0"	7'-0"	FL	ALUM	FALL	F2	ALUM			
101	6'-0"	7'-0"	FL	ALUM	FALL	F2	ALUM			
102	6'-0"	7'-0"	FL	ALUM	FALL	F2	ALUM			
103	6'-0"	7'-0"	FL	ALUM	FALL	F2	ALUM			
104	6'-0"	7'-0"	FL	ALUM	FALL	F2	ALUM			
105	6'-0"	7'-0"	FL	ALUM	FALL	F2	ALUM			

DOOR SCHEDULE NOTES

- ALL MATERIALS TO BE FIRE RATED.
- DOOR THRESHOLDS MUST HAVE A MAXIMUM HEIGHT OF 1/2" WITH A 1/2" BEVEL.

ROOM SCHEDULE

ROOM	NO.	NAME	FLOOR	BASE	N	E	S	W	CEILING	REMARKS
VESTIBULE	100									
Room	101									
Room	102									
Room	103									
Room	104									
Room	105									

ROOM SCHEDULE NOTES

- ALL MATERIALS TO BE FIRE RATED.
- DOOR THRESHOLDS MUST HAVE A MAXIMUM HEIGHT OF 1/2" WITH A 1/2" BEVEL.
- ALL MATERIALS TO BE FIRE RATED.
- DOOR THRESHOLDS MUST HAVE A MAXIMUM HEIGHT OF 1/2" WITH A 1/2" BEVEL.
- ALL MATERIALS TO BE FIRE RATED.
- DOOR THRESHOLDS MUST HAVE A MAXIMUM HEIGHT OF 1/2" WITH A 1/2" BEVEL.
- ALL MATERIALS TO BE FIRE RATED.
- DOOR THRESHOLDS MUST HAVE A MAXIMUM HEIGHT OF 1/2" WITH A 1/2" BEVEL.

ROOM SCHEDULE ABBREVIATIONS

- # REFER TO COLOR AND MATERIAL SCHEDULE
- VB VINYL BASE
 - VB VINYL SHEET FLOORING
 - VB VINYL SHEET FLOORING
 - VB VINYL SHEET FLOORING
 - VB VINYL SHEET FLOORING
 - VB VINYL SHEET FLOORING
 - VB VINYL SHEET FLOORING
 - VB VINYL SHEET FLOORING

Unclaimed Freight Furniture
1500 N Main St
Mitchell, SD
Door & Window Types & Schedule

Revision Schedule
No. Description Date

Drawn By
Checked By
Date: 05/20/2019

A7.1

MODEL USER'S
CHECK THIS FOR A LOOK PLAN

Puetz
CORPORATION
Architecture • Development
Consulting • Construction
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Mitchell, SD 57301
800 N Kimball Street

Check Set
05/20/2019