

CITY OF MITCHELL
CITY PLANNING COMMISSION AGENDA
COUNCIL CHAMBERS, CITY HALL, 612 N MAIN
JUNE 22, 2020; 12:00 PM (NOON)

1. CALL TO ORDER:
2. ROLL CALL:
3. Declaration Of Conflicts Of Interests
4. APPROVE AGENDA:
5. Approval Of Minutes: June 8, 2020

Documents:

[PLANNINGCOMMINUTES682020.PDF](#)

6. Schedule Next Meeting: July 13, 2020
7. Plan Approval: New Mitchell Telecom Building, 1691 N Main, HB District

Documents:

[2020-06-12_MITCHELL TELECOM - STAMPED PARTIAL SET FOR CITY.PDF](#)
[AERIALMITCHELLTELECOM.PDF](#)

8. Plat: A Plat Of Lot 14, Block 10 Of The Woods First Addition, A Subdivision Of The East 1/2 Of The SW 1/4 Of Section 23, T 103 N, R 60 W Of The 5th P.M., City Of Mitchell, Davison County, South Dakota

Documents:

[PLAT.PDF](#)
[AERIAL14B10WOODSPLAT.PDF](#)

9. Plan Approval: GT Auto Body, 715 S Main St, HB District; Construction Of Steel Building 40 X 90 Storage

Documents:

[PHOTOGT.PDF](#)
[AERIALGT.PDF](#)

10. Plat: A Plat Of Lots 5 And 7, Block 4A Of Westwood First Addition, A Subdivision Of Block 4 Of Westwood First Addition In The NW 1/4 Of Section 16, T 103 N, R 60 W Of The 5th P.M., City Of Mitchell, Davison County, South Dakota

Documents:

[PLATLOTS5AND7WESTWOOD.PDF](#)
[AERIAL5AND7WESTWOODPLAT.PDF](#)

11. OTHER BUSINESS:
12. PUBLIC INPUT: If You Need To Address The City Planning Commission On An Item

That Was Not On The Agenda, Excluding Personnel Items, Please Come Forward To The Podium And State Your Name And Your Concern. Presentations Are Limited To Three Minutes. Items Will Be Considered But No Action Will Be Taken At This Time.

13. ADJOURNMENT:

"The City of Mitchell invites all interested parties to give oral or written comments. If special accommodations are required, please notify the Public Works Department at 605-995-8433 at least 24 hour prior to the scheduled meeting."

**CITY OF MITCHELL
PLANNING COMMISSION MINUTES
JUNE 8, 2020**

NOT APPROVED

Chairman Larson called the June 8, 2020 City Planning Commission Meeting to order at 12:00 pm (Noon) in the Council Chambers, City Hall, 612 N Main St, Mitchell, SD.

Members Present: Larson, Molumby, Jirsa, Genzlinger, Osterloo, Vaux and Allen
Member Absent: Fergen

Staff Present: Putnam, Schroeder, J. Johnson, Sandoval, Croce

Declaration of Conflicts of Interest: Vaux, Item #7.

Approval of Agenda: Motion by Osterloo, seconded by Genzlinger to approve the agenda as presented. All members present voting aye, motion carried.

Approval of Minutes: Motion by Molumby, seconded by Jirsa to approve the minutes of the May 26, 2020 Meeting. All members present voting aye, motion carried.

Schedule Next Meeting: Motion by Genzlinger, seconded by Osterloo to schedule the next meeting for June 22, 2020. All members present voting aye, motion carried.

Plat: A Plat of Lots 12G-1 and 12J-1, Within Lot 12 of Fiala's Addition in the East ½ of the NW ¼ of Section 4, T 103 N, R 60 W of the 5th P.M., City of Mitchell, Davison County, South Dakota. Marty Barington, presented the plat on behalf of his family. The plat vacates a previous plat of 4 lots and Barington Court and plats two larger lots and eliminates the right-of-way. There are currently three owners once the lots are re-platted there will be two owners. Dale Odegaard, neighboring property owner, asked about the current road being vacated, why he needed curb and gutter in his development, and what are the owners' future plans? Chad Cahoy, neighboring property owner, stated he is building a house on JoGene Court and is concerned about 'rezoning'. Chairman Larson reminded the attendees that what is before the commission is only the plat, not rezoning. J. Johnson stated this process of the ROW vacation is permitted under state law. Dr. Phil Becker, neighboring property owner, expressed concerned about eliminating the cul-de-sac and if this best for the city. He thanked the commission for their recommendation on the (Flack) conditional use and variance applications. Mike Vehle, Lake Mitchell resident, inquired about possible development of this property into additional lots and if access easements could be installed. Putnam and Chairman Larson responded by stating that there are various standards in regards to lot size, coverage, setbacks and other conditions that would be considered. Vehle also indicated drainage may be an issue. Planning commissioners suggested the council should consider reviewing an ordinance that may address various design and appearance standards for single family residential construction, specifically considering 'Shouses and Tiny Homes'. Motion by Jirsa, seconded by Genzlinger to approve the plat. Roll Call Vote: Jirsa yes, Osterloo yes, Genzlinger yes, Larson yes, Molumby no, Vaux abstain, Fergen absent. Motion carries 4 yes 1 no 1 abstaining 1 absent.

Plan Approval: County Fair, 1305 W Havens, Highway Oriented Business District. The owner wishes to install a structure in the rear of the building to provide a shelter for delivery vehicles. Motion by Molumby, seconded by Osterloo to approve the plan. All members present voting aye, motion carried.

Drainage Report & Findings of Westwood Addition: Putnam noted the updated drainage plan for the Westwood Addition is included in the planning commission packet. It is acceptable to the Public Works department. The document will be helpful for future development. No action taken, but the commission acknowledges the receipt of the report.

Westwood Master Plan: Putnam presented the updated Westwood Master Plan as prepared by SPN & Associates. This will be helpful as future plats are presented. Motion by Jirsa, seconded by Vaux to accept the master plan. Roll Call Vote: Genzlinger yes, Osterloo yes, Vaux yes, Jirsa yes, Larson yes, Molumby yes, Vaux yes, Fergen absent. 6 yes 0 n 1 absent. Motion carried.

Public Input: none

Chairman Larson adjourned the meeting at 12:46 pm.

Mitchell Telecom

1691 N Main St.
Mitchell, SD



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Notes

1. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS.
2. CONSTRUCTION LIMITS SHALL BE WITHIN PROPERTY LINES AS INDICATED ON THE DRAWINGS WITH THE FOLLOWING EXCEPTIONS:
 - a. ALL DAMAGES DONE TO THE PROPERTY OUTSIDE THE CONSTRUCTION LIMITS SHALL BE REPAIRED TO ITS ORIGINAL CONDITION PRIOR TO DAMAGE BY THE CONTRACTOR(S) RESPONSIBLE FOR THE DAMAGE.
 - b. ACCESS TO UTILITY LOCATIONS OUTSIDE THE CONSTRUCTION LIMITS ARE TO BE DETERMINED BY THE APPROPRIATE SUBCONTRACTOR.
3. CITY SIDEWALKS AND APPROACHES SHALL MEET ALL CITY SPECIFICATIONS AND REQUIREMENTS.
4. EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ANY PATCHING, REPAIRING, ETC. THAT MAY OCCUR AS A RESULT OF THAT SUBCONTRACTOR'S WORK.
5. ANY DISCREPANCIES IN THE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT/ENGINEER'S ATTENTION FOR CLARIFICATION.

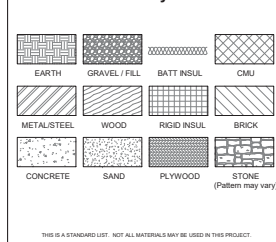
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E8.1	ELECTRICAL DIAGRAMS

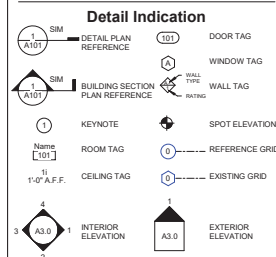
Abbreviations

A. AND	CHAM	CHAMFER	GO	GRADE(IN)	LB(S)	POUND(S)	PAR	PARALLEL	REM	REMOVE	T.E.	TRASH ENCLOSURE
AB. ANCHOR BOLT	CHD	CHANNEL	EQ	EAST	LH	LEFT HAND	PCD	PISTON/LE BOARD	REV	REQUIRED	TEL	TELEPHONE
ABV. ABOVE	CIP	CAST-IN-PLACE	EA	EACH	LH	LIBRARY	P.C.	PRECAST CONCRETE	REV	REVISION	TEMP	TEMPORARY
AC. AIR CONDITIONING	CR	CIRCULAR	EJ	EXPANSION JOINT	G.M.U.	GLASS MASONRY UNIT	GR	GRADE(IN)	R.H.	RIGHT HAND	TEMP	TEMPERATURE
ACFL. ACCESS FLOOR	CRC	CIRCUMFERENCE	EL	ELEVATION	G.W.B.	GYPSPUM WALL BOARD	L.L.	LONG LEG HORIZONTAL	R.O.W.	ROUGH OPENING	TERM	TERMINATE, TERMINAL
ACT. ACoustical CEILING TILE	C.J.	CONTROL JOINT	EL	ELEVATION	G.W.B.	GYPSPUM WALL BOARD	L.L.V.	LONG LEG VERTICAL	R.P.	RADIUS POINT	TERR	TERRAZZO
A.C.A. AMERICANS WITH DISABILITIES ACT	CK	CAULKING	LOC	LOCATION	GYP	GYPSPUM BOARD	LOC	LOCATION	R.P.P.	REVOLUTIONS PER	T.F.E.	TOP OF FINISH ELEVATION
AD. ADDITIONAL	CL	CENTER LINE	L.P.	LOW POINT	L.P.	LOW POINT	L.P.	LOW POINT	R.T.U.	ROOF TOP UNIT	T.H.	THICKNESS
ADJ. ADJACENT	CLG	CLEARING	L.T.	LIGHTING	L.T.	LIGHTING	L.T.	LIGHTING	T.O.S.	TOP OF STEEL	T.H.	THROUGH
ADM. ADMINISTRATION	CLQ	CLEARANCE	L.V.	LOUVER	L.V.	LOUVER	L.V.	LOUVER	T.O.S.	TOILET PAPER DISPENSER	T.P.D.	TUBE STEEL
A.F.F. ABOVE FINISHED FLOOR	CMU	CONCRETE MASONRY	H	HEIGHT	H	HOLE	H	HOLE	S	SCHEDULE	TYP	TYPICAL
AGG. AGGREGATE	EQ	EQUIPMENT	H.C.	HOLLOW CORE	H.C.	HOLLOW CORE	H.C.	HOLLOW CORE	SAB	SOAP DISPENSER	U.L.	UNDERGROUND LABORATORIES
ALT. ALTERNATE	CO	COEFFICIENT	EQ	EQUAL	HCP	HANDICAPPED	EQ	EQUIPMENT	SCHD	SCHEDULE	U.L.	UNDERGROUND LABORATORIES
ALUM. ALUMINUM	COE	COEFFICIENT	EST	ESTIMATE	HCP	HANDICAPPED	EQ	EQUIPMENT	SCHD	SCHEDULE	U.L.	UNDERGROUND LABORATORIES
ANCH. ANCHOR	COMB	COMBINATION	EXP	EXPANSION	HCP	HANDICAPPED	EQ	EQUIPMENT	SCHD	SCHEDULE	U.L.	UNDERGROUND LABORATORIES
A.P.C. ARCHITECTURAL PRECAST CONCRETE	CONC	CONCRETE	EXP	EXPANSION	HCP	HANDICAPPED	EQ	EQUIPMENT	SCHD	SCHEDULE	U.L.	UNDERGROUND LABORATORIES
APPROX. APPROXIMATE	CONC	CONCRETE	EXP	EXPANSION	HCP	HANDICAPPED	EQ	EQUIPMENT	SCHD	SCHEDULE	U.L.	UNDERGROUND LABORATORIES
ARCH. ARCHITECTURAL	CONC	CONCRETE	EXP	EXPANSION	HCP	HANDICAPPED	EQ	EQUIPMENT	SCHD	SCHEDULE	U.L.	UNDERGROUND LABORATORIES
AUTO. AUTOMATIC	CONC	CONCRETE	EXP	EXPANSION	HCP	HANDICAPPED	EQ	EQUIPMENT	SCHD	SCHEDULE	U.L.	UNDERGROUND LABORATORIES
AVG. AVERAGE	CONC	CONCRETE	EXP	EXPANSION	HCP	HANDICAPPED	EQ	EQUIPMENT	SCHD	SCHEDULE	U.L.	UNDERGROUND LABORATORIES
B. BOARD	CONC	CONCRETE	EXP	EXPANSION	HCP	HANDICAPPED	EQ	EQUIPMENT	SCHD	SCHEDULE	U.L.	UNDERGROUND LABORATORIES
BE. BELOW	CONC	CONCRETE	EXP	EXPANSION	HCP	HANDICAPPED	EQ	EQUIPMENT	SCHD	SCHEDULE	U.L.	UNDERGROUND LABORATORIES
BEV. BEVEL	CONC	CONCRETE	EXP	EXPANSION	HCP	HANDICAPPED	EQ	EQUIPMENT	SCHD	SCHEDULE	U.L.	UNDERGROUND LABORATORIES
BIT. BITUMINOUS	CONC	CONCRETE	EXP	EXPANSION	HCP	HANDICAPPED	EQ	EQUIPMENT	SCHD	SCHEDULE	U.L.	UNDERGROUND LABORATORIES
BLDG. BUILDING	CONC	CONCRETE	EXP	EXPANSION	HCP	HANDICAPPED	EQ	EQUIPMENT	SCHD	SCHEDULE	U.L.	UNDERGROUND LABORATORIES
BLK. BLOCKING	CONC	CONCRETE	EXP	EXPANSION	HCP	HANDICAPPED	EQ	EQUIPMENT	SCHD	SCHEDULE	U.L.	UNDERGROUND LABORATORIES
BM. BEAM	CONC	CONCRETE	EXP	EXPANSION	HCP	HANDICAPPED	EQ	EQUIPMENT	SCHD	SCHEDULE	U.L.	UNDERGROUND LABORATORIES
B.O. BOTTOM OF	CONC	CONCRETE	EXP	EXPANSION	HCP	HANDICAPPED	EQ	EQUIPMENT	SCHD	SCHEDULE	U.L.	UNDERGROUND LABORATORIES
BO. BOTTOM	CONC	CONCRETE	EXP	EXPANSION	HCP	HANDICAPPED	EQ	EQUIPMENT	SCHD	SCHEDULE	U.L.	UNDERGROUND LABORATORIES
BRG. BEARING	CONC	CONCRETE	EXP	EXPANSION	HCP	HANDICAPPED	EQ	EQUIPMENT	SCHD	SCHEDULE	U.L.	UNDERGROUND LABORATORIES
BRK. BRICK	CONC	CONCRETE	EXP	EXPANSION	HCP	HANDICAPPED	EQ	EQUIPMENT	SCHD	SCHEDULE	U.L.	UNDERGROUND LABORATORIES
B.S. BOTH SIDES	CONC	CONCRETE	EXP	EXPANSION	HCP	HANDICAPPED	EQ	EQUIPMENT	SCHD	SCHEDULE	U.L.	UNDERGROUND LABORATORIES
BS. BOTH SIDES	CONC	CONCRETE	EXP	EXPANSION	HCP	HANDICAPPED	EQ	EQUIPMENT	SCHD	SCHEDULE	U.L.	UNDERGROUND LABORATORIES
BTU. BRITISH THERMAL UNIT	CONC	CONCRETE	EXP	EXPANSION	HCP	HANDICAPPED	EQ	EQUIPMENT	SCHD	SCHEDULE	U.L.	UNDERGROUND LABORATORIES
BTWN. BETWEEN	CONC	CONCRETE	EXP	EXPANSION	HCP	HANDICAPPED	EQ	EQUIPMENT	SCHD	SCHEDULE	U.L.	UNDERGROUND LABORATORIES
B.U.F. BUILT-UP ROOFING	CONC	CONCRETE	EXP	EXPANSION	HCP	HANDICAPPED	EQ	EQUIPMENT	SCHD	SCHEDULE	U.L.	UNDERGROUND LABORATORIES
C. CABINET	CONC	CONCRETE	EXP	EXPANSION	HCP	HANDICAPPED	EQ	EQUIPMENT	SCHD	SCHEDULE	U.L.	UNDERGROUND LABORATORIES
CAB. CABINET	CONC	CONCRETE	EXP	EXPANSION	HCP	HANDICAPPED	EQ	EQUIPMENT	SCHD	SCHEDULE	U.L.	UNDERGROUND LABORATORIES
CAP. CAPACITY	CONC	CONCRETE	EXP	EXPANSION	HCP	HANDICAPPED	EQ	EQUIPMENT	SCHD	SCHEDULE	U.L.	UNDERGROUND LABORATORIES
C.B. CONCRETE BLOCK	CONC	CONCRETE	EXP	EXPANSION	HCP	HANDICAPPED	EQ	EQUIPMENT	SCHD	SCHEDULE	U.L.	UNDERGROUND LABORATORIES
CEM. CEMENT	CONC	CONCRETE	EXP	EXPANSION	HCP	HANDICAPPED	EQ	EQUIPMENT	SCHD	SCHEDULE	U.L.	UNDERGROUND LABORATORIES
CER. CERAMIC	CONC	CONCRETE	EXP	EXPANSION	HCP	HANDICAPPED	EQ	EQUIPMENT	SCHD	SCHEDULE	U.L.	UNDERGROUND LABORATORIES
C.F. CUBIC FEET	CONC	CONCRETE	EXP	EXPANSION	HCP	HANDICAPPED	EQ	EQUIPMENT	SCHD	SCHEDULE	U.L.	UNDERGROUND LABORATORIES
C.G. CORNER GUARD	CONC	CONCRETE	EXP	EXPANSION	HCP	HANDICAPPED	EQ	EQUIPMENT	SCHD	SCHEDULE	U.L.	UNDERGROUND LABORATORIES
C.G.S. CENTER OF GRAVITY OF STRUD	CONC	CONCRETE	EXP	EXPANSION	HCP	HANDICAPPED	EQ	EQUIPMENT	SCHD	SCHEDULE	U.L.	UNDERGROUND LABORATORIES

Materials Symbols



THIS IS A STANDARD LIST. NOT ALL MATERIALS MAY BE USED IN THIS PROJECT.



Vicinity Map



Project Directory

DESIGN / BUILDER	Address	Phone
Puetz Design + Build	800 N Kimball Mitchell, SD	(605) 996-2276
STRUCTURAL ENGINEER		
Thompson Dreesen & Sonner	5000 S Minnesota Ave, Suite 300 Sioux Falls, SD	(605) 951-0886
MECHANICAL ENGINEER		
MAP, Inc.	7708 W. Maris St.	(605) 941-2805
LANDSCAPE DESIGNER		
James Valley Nursery	600 Bruce St Mitchell, SD	(605) 996-5444

Mitchell Telecom

Mitchell, SD

Revision Schedule

No. Description Date

No.	Description	Date
1	REVISION	



Drawn By: JNMH
Checked By: JNMH
Date: 06/12/2020

TS

DIGITAL USERS:
CLICK HERE FOR FLOOR PLAN



Mitchell Telecomm
1691 N Main St.
Mitchell, SD

CODE REVIEW

Revision Schedule
No. Description Date

Drawn By: JRM/H
Checked By: MH
Date: 06/12/2020

CR1

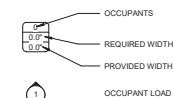
PLAN NOTES

- 10.18 FIRE EXTINGUISHER CABINET, SEMI-RECESSED
- 10.19 FIRE EXTINGUISHER, SURFACE MOUNTED
- 22.1 EYE WASH/EMERGENCY SHOWER, SEE MECH.
- 22.4 MOP SINK AND HOLDER W/ F.R.P. BOARD ON BACK AND SIDE WALLS, 48" H x WIDTH OF SINK, SEE MECH.

RATED WALL KEY

1-HOUR WALL

CODE PLAN LEGEND



CODE DATA

Applicable Codes

Building Code	2012 International Building Code (IBC)
Mechanical	2012 International Mechanical Code
Plumbing	2012 Uniform Plumbing Code
Electrical	NEPA 70, National Electrical Code (NEC), current edition
Accessibility	2010 Americans with Disabilities Act (ADA)
Local	State and Local Ordinances as apply
Other	2003 American National Standards Institute (ANSI 117.1)

Chapter 3: Occupancy Classification

Building Occupancy Type(s)	B/S-2
Building Construction Type	V-B, Table 503
Automatic Fire Sprinkler System	NONE
Incidental Use Separation	N/A
Accessory Use Separation	NONE

Chapter 5: General Building Limitations

Basic Area	9,000 s.f.
Exceeds Increase	5,300 s.f.
Total Allowable Area Per Floor	14,310 s.f. (w/o sprinkler)
Proposed Area Per Floor	6,632 s.f. - B/ 2,817 - S-1 = 9,449 s.f.

Number of Stories Allowed	2
Maximum Building Height	40 ft - 0 in
Sprinkler Increase	N/A
Total Allowable Height	40 ft - 0 in

Proposed Building Height	18 ft - 0 in
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Chapter 6: Construction Requirements

Structural Frame	Combustible	0-hr
Interior Bearing Wall	Combustible	0-hr
Shall Enclosure	Combustible	0-hr
Floor Ceiling Assembly	Combustible	0-hr
Roof Ceiling Assembly	Combustible	0-hr
Stairs	Combustible	0-hr
Elevator Machine Room	Combustible	0-hr
Laundry Room	Combustible	0-hr

*Note - Penetrations of the shaft by ductwork or pipes shall be protected by an approved fire dampers or fire stop system at both entrance and exit points.

Chapter 9: Fire Protection Systems

None Provided

Chapter 10: Means of Egress

Chapter 10: Means of Egress		
Total Occupant Load	99	
Stair Door Width	NA	NA
Stair Width	NA	NA
Stair Enclosure	NA	NA
Max Occupant Load Signage Required	No	
Common Path of Travel	Max 75'-0"	39'-0"
Travel Distance	Max 200'-0"	90'-0"
Dead End Corridor	Max 20'-0"	17'-0"

Chapter 29: Plumbing Fixtures

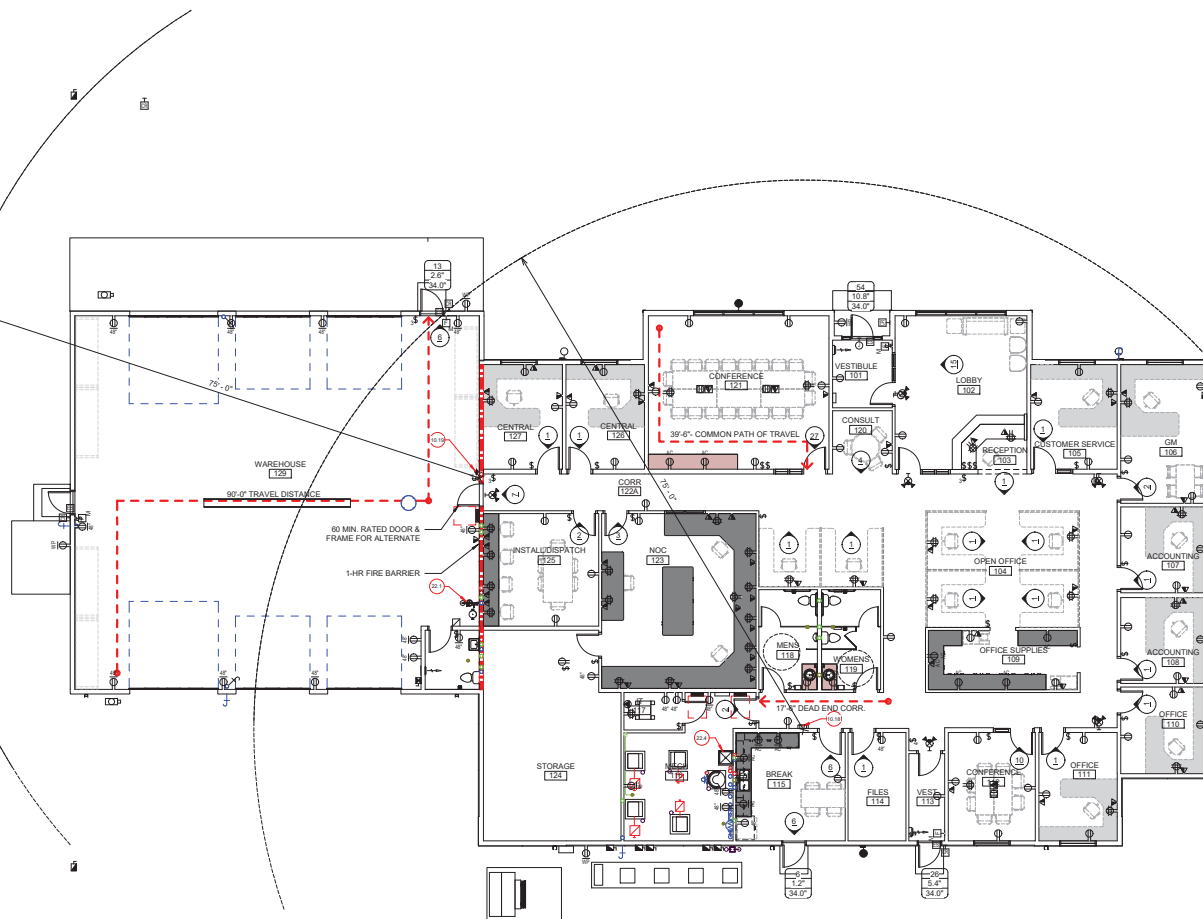
Building Design Occupant Load	50	
Water Closets - 50% Male	1 required	2 provided
Water Closets - 50% Female	1 required	2 provided
Lavs - 50% Male	1 required	1 provided
Lavs - 50% Female	1 required	1 provided
Drinking Fountains	1 required	Bottled Water in break room

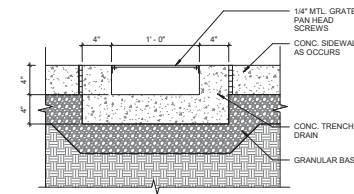
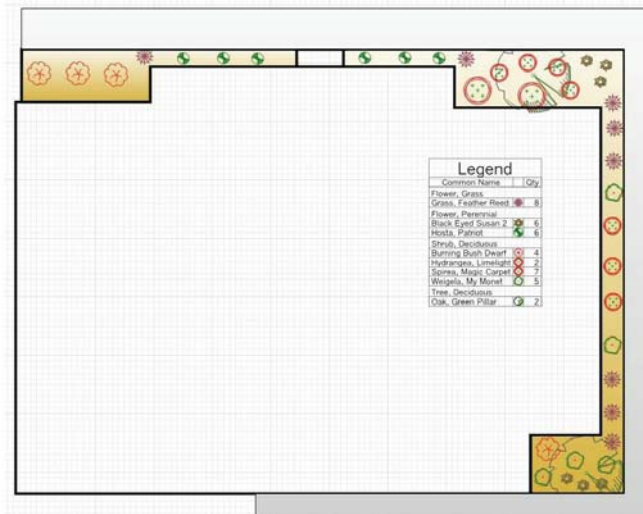
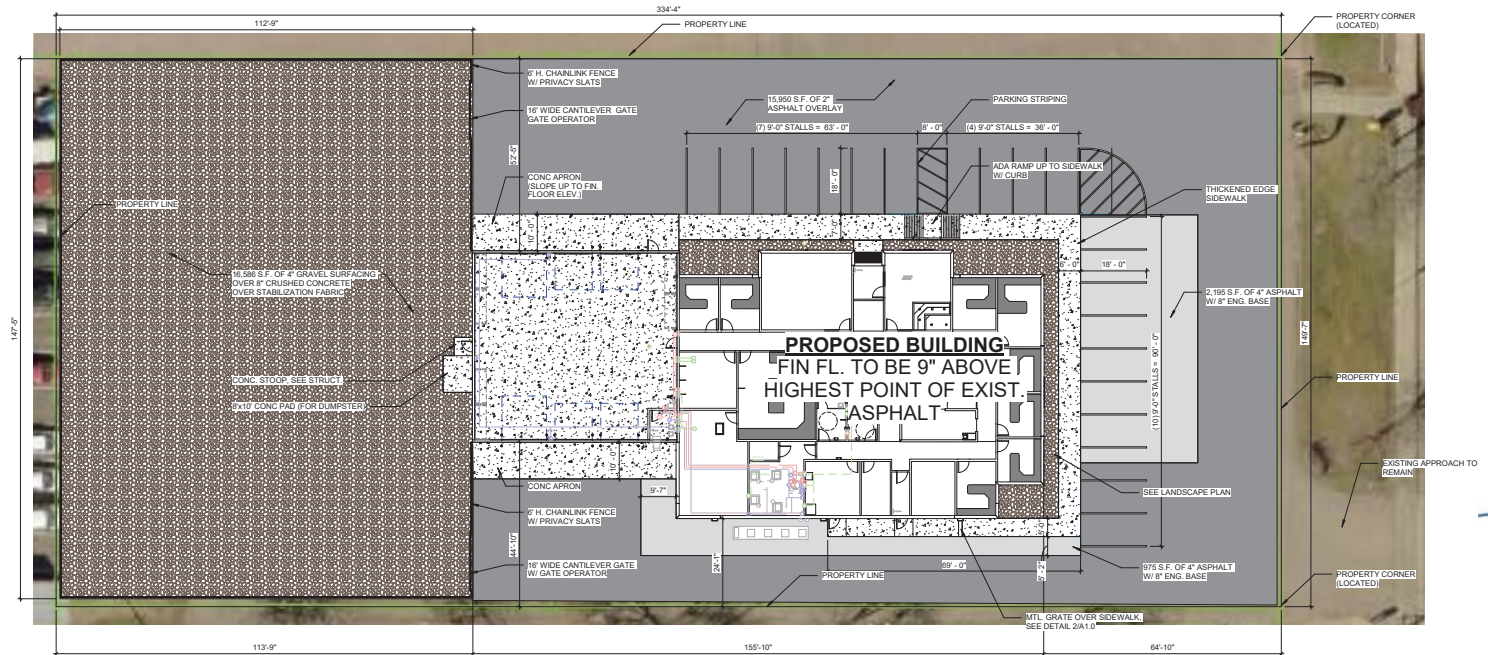
Local Codes

Zoning	HB		
Front Setback	30'		
Side Setback	0'		
Rear Setback	0'		
Parking	1 space per 2 employees		
	22 employees = 11 required		21 provided
Preliminary Design Review Required	Yes		

CODE REVIEW PLAN

1/8" = 1'-0"





GENERAL SITE PLAN NOTES

- UNDERGROUND UTILITIES MUST BE PHYSICALLY LOCATED BEFORE ANY CONSTRUCTION BEGINS
- ALL SITEWORK OUTSIDE OF PROPERTY LINE IS NOT IN THIS CONTRACT

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1691 N Main St.
Mitchell, SD

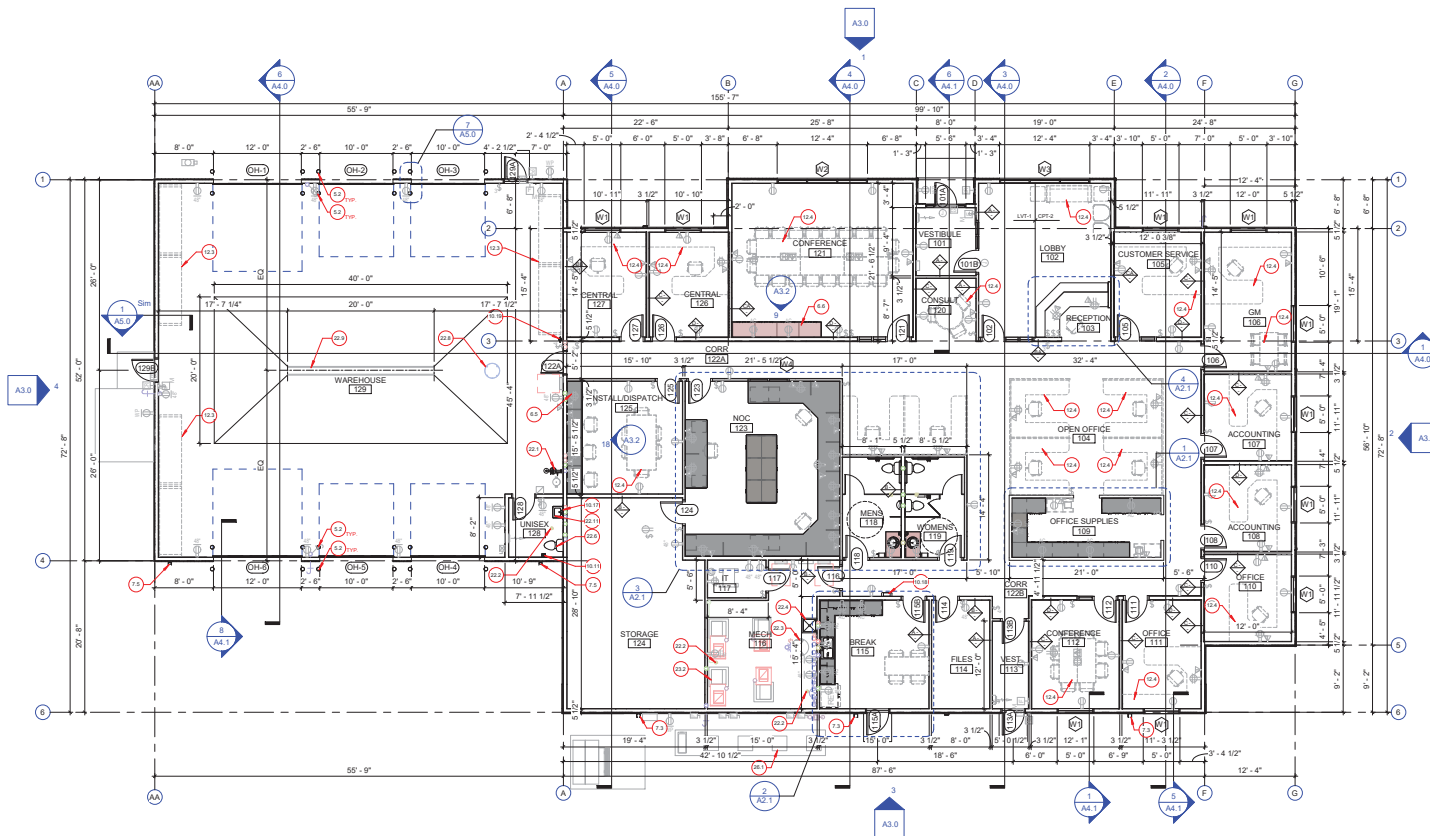
SITE & LANDSCAPE PLAN

Revision Schedule		
No.	Description	Date

Drawn By: JRM/H
Checked By: HH
Date: 06/12/2020

A1.0

6/12/2020 11:43:09 AM THESE DRAWINGS ARE A COPYRIGHT 2020 DOCUMENT. THESE DRAWINGS SHALL NOT BE REPRODUCED, COPIED OR USED IN ANY WAY WITHOUT THE WRITTEN PERMISSION OF PUETZ DESIGN + BUILD



1 MAIN LEVEL FLOOR PLAN
1/8" = 1'-0"

PLAN NOTES

- 5.2 6" BOLLARD, BOLLARD COVER, CONC FILLED, 36"
- 6.5 COUNTERTOP, PLAM
- 6.6 COUNTERTOP, SOLID SURFACE
- 7.3 SCUPPER, PREFIN METAL, W/ OPEN-FACED DOWNSPOUT
- 7.5 DOWNSPOUT, CLOSED FACED, PREFIN METAL, CONTRACTOR TO DETERMINE NECESSARY QUANTITY AND SPACING
- 10.11 TOILET PAPER DISPENSER, SURFACE MOUNTED, PROVIDED AND INSTALLED BY CONTRACTOR
- 10.17 FIRE EXTINGUISHER CABINET, SEMI-RECESSED
- 10.19 FIRE EXTINGUISHER, SURFACE MOUNTED
- 12.3 RACK SHELVING, BY OWNER
- 12.4 FURNITURE, BY OWNER
- 22.1 EYE WASH/EMERGENCY SHOWER, SEE MECH
- 22.2 FLOOR DRAIN, VERIFY SIZE & LOCATION WITH MECH
- 22.3 WATER HEATER, SEE MECH
- 22.4 MOP SINK AND HOLDER W/ F.R.P. BOARD ON BACK AND SIDE WALLS, 48" x 10" W/ 1" OF SINK, SEE MECH
- 22.6 TOILET, FLOOR MOUNTED, A.D.A. COMPLIANT, SEE MECH
- 22.8 SOLIDS INTERCEPTOR, SEE MECH
- 22.9 6" WIDE TRENCH DRAIN, SEE MECH
- 22.11 WALL MOUNTED HAND WASH SINK, SEE MECH
- 23.2 FURNITURE, SEE MECH
- 26.1 ELECTRICAL ELEMENT, SEE ELEC

GENERAL FLOOR PLAN NOTES

- A. INTERIOR & EXTERIOR DIMENSIONS ARE TO FACE OF STUD, U.N.O.
- B. SEE SHEET A7.1 FOR WALL TYPE LEGEND
- C. SEE SHEET A7.1 FOR DOOR SCHEDULE
- D. ALL INTERIOR WALLS ARE WALL TYPE 'K' U.N.O.
- E. SEE SHEET A7.1 FOR SHEAR WALL LOCATIONS
- F. G.C. TO PROVIDE AND INSTALL BLOCKING / REINFORCEMENT FOR ALL ACCESSORIES PER MANUFACTURER'S INSTRUCTIONS

PUETZ
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Mitchell Telecom
1691 N Main St.
Mitchell, SD
FLOOR PLAN

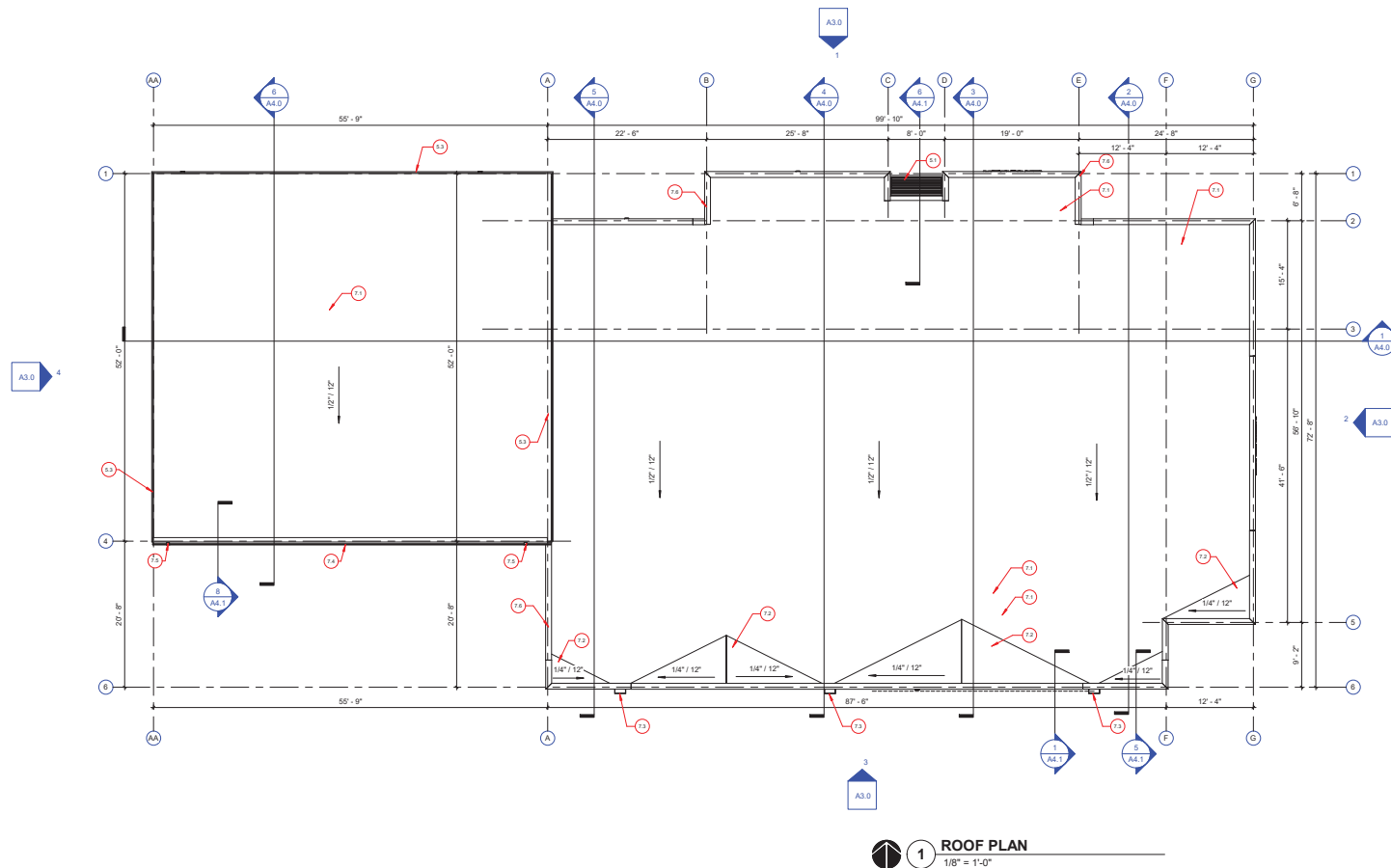
Revision Schedule		
No.	Description	Date

Drawn By: JRM/H
Checked By: NH
Date: 06/12/2020

A2.0

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5.1	ALUM SUNSHADE, BY BAILEY FABRICATORS (OR APPROVED EQUAL)
5.3	6" PREFINISHED METAL EDGE FLASHING
7.1	FULLY ADHERED 60 MIL EPDM ROOF OVER 1/2" COVERBOARD, OVER 2-LAYERS OF 2.6" POLYISO
7.2	FULLY ADHERED 60 MIL EPDM ROOF OVER 1/2" COVERBOARD, OVER TAPERED INSULATION, OVER 2-LAYERS OF 2.6" POLYISO
7.3	SCUPPER, PREFIN METAL, W/ IPEN-FAINED DOWNSPOUT
7.4	GUTTER, PREFIN METAL, SE, SLOPE
7.5	DOWNSPOUT, CLOSED FASD, PREFIN METAL, CONTRACTOR TO DETERMINE NECESSARY QUANTITY AND SPACING
7.6	CAP FLASHING, PREFIN METAL



A. CONCRETE SPLASH BLOCKS AT EACH DOWNSPOUT LOCATION
B. VERIFY SIZE, LOCATION, AND NUMBER OF ROOF PENETRATIONS WITH MECHANICAL & PLUMBING PLANS

DIGITAL USERS:
CLICK [HERE](#) FOR FLOOR PLAN

Mitchell Telecom
1691 N Main St.
Mitchell, SD

Revision Schedule		
No.	Description	Date

Drawn By: JH/MH
Checked By: HH
Date: 06/12/2020

A2.2



11/1/2020 11:43:11 AM | THESE DRAWINGS ARE A COPYRIGHT 2020 DOCUMENT. THESE DRAWINGS SHALL NOT BE REPRODUCED, COPIED OR USED IN ANY WAY WITHOUT THE WRITTEN PERMISSION OF PUETZ DESIGN + BUILD



PUETZ
DESIGN+BUILD



Mitchell Telecom
1691 N Main St.
Mitchell, SD

EXTERIOR ELEVATIONS

Revision Schedule
No. Description Date

Drawn By: JRM/H
Checked By: NH
Date: 06/12/2020

A3.0

6/12/2020 11:43:14 AM THESE DRAWINGS ARE A COPYRIGHT 2020 DOCUMENT. THESE DRAWINGS SHALL NOT BE REPRODUCED, COPIED OR USED IN ANY WAY WITHOUT THE WRITTEN PERMISSION OF PUETZ DESIGN+BUILD



3 NW 3D VIEW



1 NE 3D VIEW



4 SE 3D VIEW



2 SW 3D VIEW

PUETZ
DESIGN+BUILD



Mitchell Telecom
1691 N Main St.
Mitchell, SD
3D EXTERIOR VIEWS

Revision Schedule
No. Description Date

Drawn By: JRMH
Checked By: JRMH
Date: 06/12/2020

A3.1

DIGITAL USE ONLY
CLICK HERE FOR FLOOR PLAN

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T Enter text.

Mall Parking Lot

15800-01500-202-20

New Mitchell Telecom

15800-01500-201-60
1691 N MAIN ST

GREEN DR

NONE

N MAIN ST

15800-01500-203-00
1600 N MAIN ST

Burger King

15800-01500-202-00

: Latest ▾ 04/05/2020 - 04/21/2020

to search



A PLAT OF LOT 14, BLOCK 10 OF THE WOODS FIRST ADDITION, A SUBDIVISION OF THE EAST 1/2 OF THE SW 1/4 OF SECTION 23, T 103 N, R 60 W OF THE 5th P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA

OWNER'S CERTIFICATE, DEDICATION AND AGREEMENT OF PROTECTION OF WATER

KNOW ALL MEN BY THESE PRESENTS that I, the undersigned, hereby certify that CJM Consulting, Inc., a South Dakota corporation, is the absolute and unqualified owner of all of the land included in the within and foregoing plat; the plat is of a parcel of ground located in THE EAST 1/2 OF THE SW 1/4 OF SECTION 23, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA; that the plat has been made at the request of CJM Consulting, Inc., a South Dakota corporation, and under its direction for the purposes indicated therein; which said property as so surveyed and platted shall hereafter be known as LOT 14, BLOCK 10 OF THE WOODS FIRST ADDITION, A SUBDIVISION OF THE EAST 1/2 OF THE SW 1/4 OF SECTION 23, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA, as shown by this plat; and CJM Consulting, Inc., a South Dakota corporation, hereby dedicates to the public, for public use forever as such, the streets and alleys, if any, as shown and marked on said plat; and that development of the land included within the boundaries of said Lot 14, Block 10 shall conform to all existing applicable zoning, subdivision, and erosion and sediment control regulations; further that there now exists Charles Street. Pursuant to SDCL 11-3-8.1 and 11-3-8.2 the developer of the property described within this plat shall be responsible for protecting any waters of the state located adjacent to or within such platted area from pollution from sewage from such subdivision and shall, in prosecution of such protections conform to and follow all regulations of the South Dakota Department of Environment and Natural Resources relating to the same. Additionally, the developer of the property described within this plat shall be liable for any pollution that occurs from failure to execute such protections or follow such regulations, exception being those lots in subdivisions that show documentation that wastewater drainage shall be connected to a municipal system.

IN WITNESS WHEREOF, I have hereunto set my hand this _____ day of _____, 2020.

Charles J. Mauszycki, Jr., Vice President of CJM Consulting, Inc.,
a South Dakota corporation

CORPORATION ACKNOWLEDGMENT

STATE OF SOUTH DAKOTA)
)SS
COUNTY OF DAVISON)

On this, the _____ day of _____, 2020, before me, _____, the undersigned officer, personally appeared Charles J. Mauszycki, Jr., of CJM Consulting, Inc., a South Dakota corporation, and that he, as such Vice President, being authorized so to do, executed the foregoing instrument for the purposes therein contained, by signing the name of the corporation by himself as Vice President.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

Notary Public, South Dakota
My Commission Expires: _____

RESOLUTION OF CITY PLANNING COMMISSION

WHEREAS, the plat of LOT 14, BLOCK 10 OF THE WOODS FIRST ADDITION, A SUBDIVISION OF THE EAST 1/2 OF THE SW 1/4 OF SECTION 23, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA, prepared by Paul J. Reiland, duly licensed Land Surveyor in and for the State of South Dakota, heretofore filed in the office of the City Finance Officer of Mitchell, South Dakota, has been submitted to the City Planning Commission of the said City of Mitchell, South Dakota; and

WHEREAS, the City Planning Commission, in regular meeting assembled, had duly considered said plat and finds as a fact that said plat is in conformity and does not conflict with the Master Plan for the City of Mitchell, South Dakota, heretofore adopted by this Commission;

NOW THEREFORE, be it resolved by the City Planning Commission of Mitchell, South Dakota, that the plat of LOT 14, BLOCK 10 OF THE WOODS FIRST ADDITION, A SUBDIVISION OF THE EAST 1/2 OF THE SW 1/4 OF SECTION 23, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA, prepared by Paul J. Reiland, a Land Surveyor, be and the same is hereby approved and its adoption by the City Council of the City of Mitchell, South Dakota, is hereby recommended.

The undersigned does hereby certify that the foregoing resolution was passed by the City Planning Commission of Mitchell, South Dakota, at a meeting thereof held on the _____ day of _____, 2020.



Chairperson/Vice Chairperson of the City of Mitchell
Planning Commission

SPN

& Associates

Engineers, Planners and Surveyors

2100 North Sanborn Blvd. - P.O. Box 398 Mitchell, South Dakota 57301
Phone: (605) 996-7761 Fax: (605) 996-0015

T Click text location.



/05/2020 - 04/21/2020





W E S T
E L M
A V E N U E

4/12 P. 161
16'-
SIDEWALK

Building

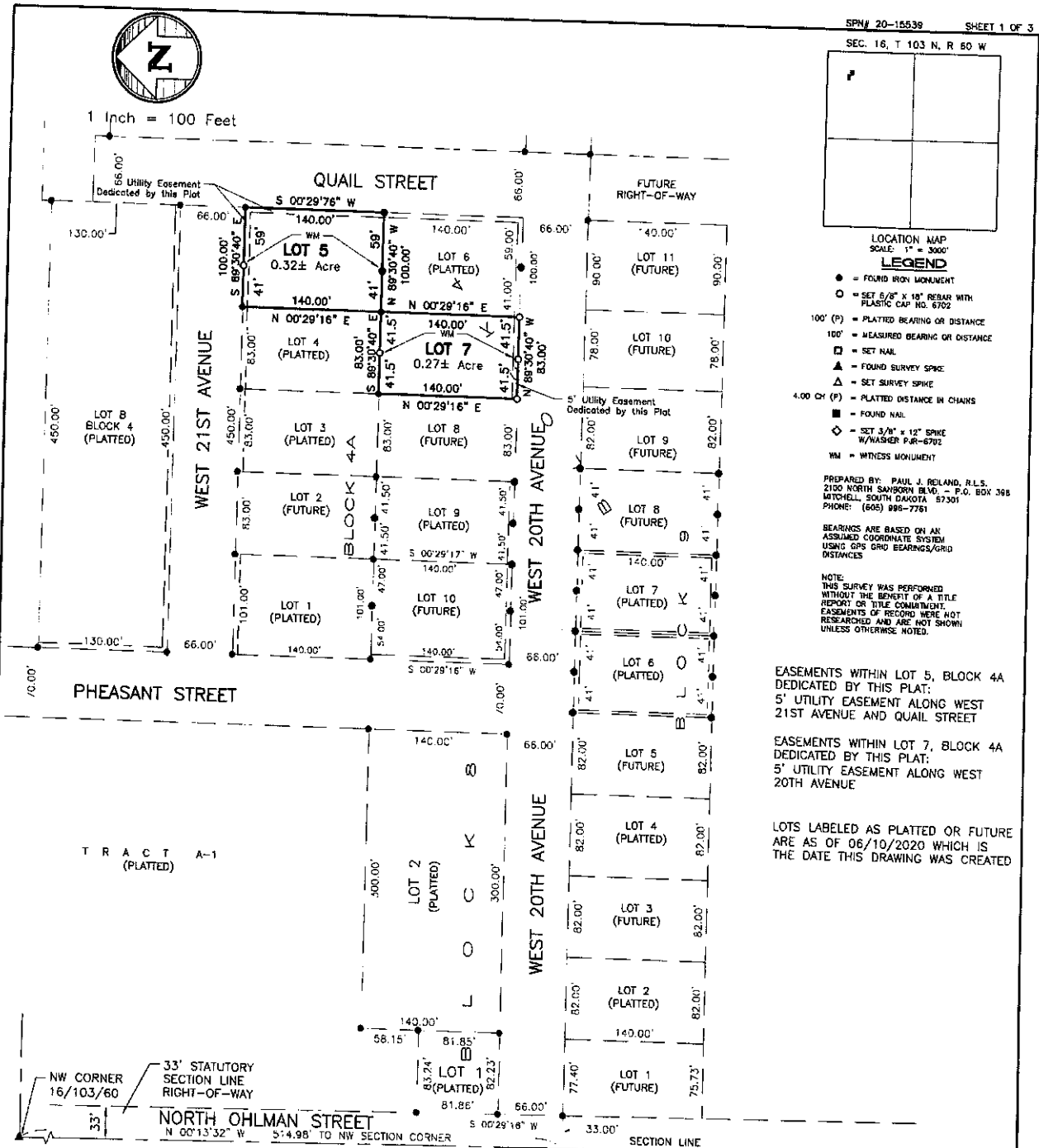
40'

90'

N 89°04'50" E
142.91' - 142' (P)

LOT 1.2

LOT 1.1



A PLAT OF LOTS 5 AND 7, BLOCK 4A OF WESTWOOD FIRST ADDITION, A SUBDIVISION OF BLOCK 4 OF WESTWOOD FIRST ADDITION IN THE NW 1/4 OF SECTION 16, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA

SURVEYOR'S CERTIFICATE

I, Paul J. Reiland, the undersigned, do hereby certify that I am a Registered Land Surveyor in and for the State of South Dakota. At the request of CJM Consulting, Inc., a South Dakota corporation, as owner, and under its direction for purposes indicated therein, I did on or prior to June 10, 2020, survey those parcels of land described as follows: LOTS 5 AND 7, BLOCK 4A OF WESTWOOD FIRST ADDITION, A SUBDIVISION OF BLOCK 4 OF WESTWOOD FIRST ADDITION IN THE NW 1/4 OF SECTION 16, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA.

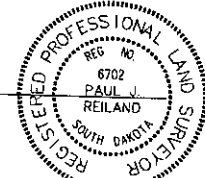
In my professional opinion and to the best of my knowledge, information and belief, the within and foregoing plat is true and correct.

Dated this _____ day of _____, 2020.

Registered Land Surveyor #SD6702

SPN

& Associates
Engineers, Planners and Surveyors
2100 North Sanborn Blvd. - P.O. Box 398 Mitchell, South Dakota 57301
Phone: (605) 996-7761 Fax: (605) 996-0015



A PLAT OF LOTS 5 AND 7, BLOCK 4A OF WESTWOOD FIRST ADDITION, A SUBDIVISION OF BLOCK 4 OF WESTWOOD FIRST ADDITION IN THE NW 1/4 OF SECTION 16, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA

OWNER'S CERTIFICATE, DEDICATION AND AGREEMENT OF PROTECTION OF WATER

KNOW ALL MEN BY THESE PRESENTS that I, the undersigned, hereby certify that CJM Consulting, Inc., a South Dakota corporation, is the absolute and unqualified owner of all of the land included in the within and foregoing plat; the plat is of a parcel of ground located in BLOCK 4 OF WESTWOOD FIRST ADDITION IN THE NW 1/4 OF SECTION 16, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA; that the plat has been made at the request of CJM Consulting, Inc., a South Dakota corporation, and under its direction for the purposes indicated therein; which said property as so surveyed and platted shall hereafter be known as LOTS 5 AND 7, BLOCK 4A OF WESTWOOD FIRST ADDITION, A SUBDIVISION OF BLOCK 4 OF WESTWOOD FIRST ADDITION IN THE NW 1/4 OF SECTION 16, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA, as shown by this plat; and CJM Consulting, Inc., a South Dakota corporation, hereby dedicates to the public, for public use forever as such, the streets and alleys, if any, as shown and marked on said plat; and that development of the land included within the boundaries of said Lots 5 and 7, Block 4A shall conform to all existing applicable zoning, subdivision, and erosion and sediment control regulations; further that there now exists West 20th Avenue, West 21st Avenue and Quail Street. Pursuant to SDCL 11-3-8.1 and 11-3-8.2 the developer of the property described within this plat shall be responsible for protecting any waters of the state located adjacent to or within such platted area from pollution from sewage from such subdivision and shall, in prosecution of such protections conform to and follow all regulations of the South Dakota Department of Environment and Natural Resources relating to the same. Additionally, the developer of the property described within this plat shall be liable for any pollution that occurs from failure to execute such protections or follow such regulations, exception being those lots in subdivisions that show documentation that wastewater drainage shall be connected to a municipal system.

IN WITNESS WHEREOF, I have hereunto set my hand this _____ day of _____, 2020.

Charles J. Mauszycki, Jr., Vice President of CJM Consulting, Inc.,
a South Dakota corporation

CORPORATION ACKNOWLEDGMENT

STATE OF SOUTH DAKOTA)
)SS
COUNTY OF DAVISON)

On this, the _____ day of _____, 2020, before me, _____, the undersigned officer, personally appeared Charles J. Mauszycki, Jr., of CJM Consulting, Inc., a South Dakota corporation, and that he, as such Vice President, being authorized so to do, executed the foregoing instrument for the purposes therein contained, by signing the name of the corporation by himself as Vice President.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

Notary Public, South Dakota
My Commission Expires: _____

RESOLUTION OF CITY PLANNING COMMISSION

WHEREAS, the plat of LOTS 5 AND 7, BLOCK 4A OF WESTWOOD FIRST ADDITION, A SUBDIVISION OF BLOCK 4 OF WESTWOOD FIRST ADDITION IN THE NW 1/4 OF SECTION 16, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA, prepared by Paul J. Reiland, duly licensed Land Surveyor in and for the State of South Dakota, heretofore filed in the office of the City Finance Officer of Mitchell, South Dakota, has been submitted to the City Planning Commission of the said City of Mitchell, South Dakota; and

WHEREAS, the City Planning Commission, in regular meeting assembled, had duly considered said plat and finds as a fact that said plat is in conformity and does not conflict with the Master Plan for the City of Mitchell, South Dakota, heretofore adopted by this Commission;

NOW THEREFORE, be it resolved by the City Planning Commission of Mitchell, South Dakota, that the plat of LOTS 5 AND 7, BLOCK 4A OF WESTWOOD FIRST ADDITION, A SUBDIVISION OF BLOCK 4 OF WESTWOOD FIRST ADDITION IN THE NW 1/4 OF SECTION 16, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA, prepared by Paul J. Reiland, a Land Surveyor, be and the same is hereby approved and its adoption by the City Council of the City of Mitchell, South Dakota, is hereby recommended.

The undersigned does hereby certify that the foregoing resolution was passed by the City Planning Commission of Mitchell, South Dakota, at a meeting thereof held on the _____ day of _____, 2020.

Chairperson/Vice Chairperson of the City of Mitchell
Planning Commission

SPN

& Associates

Engineers, Planners and Surveyors

2100 North Sanborn Blvd. - P.O. Box 398 Mitchell, South Dakota 57301
Phone: (605) 996-7761 Fax: (605) 996-0015



A PLAT OF LOTS 5 AND 7, BLOCK 4A OF WESTWOOD FIRST ADDITION, A SUBDIVISION OF BLOCK 4 OF WESTWOOD FIRST ADDITION IN THE NW 1/4 OF SECTION 16, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA

RESOLUTION OF CITY COUNCIL

WHEREAS, it appears that the City Planning Commission of the City of Mitchell, South Dakota, did duly consider and did recommend the approval and adoption of the hereinafter described plat, at its meeting held on the _____ day of _____, 2020; and

WHEREAS, it appears from an examination of the plat of LOTS 5 AND 7, BLOCK 4A OF WESTWOOD FIRST ADDITION, A SUBDIVISION OF BLOCK 4 OF WESTWOOD FIRST ADDITION IN THE NW 1/4 OF SECTION 16, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA, as prepared by Paul J. Reiland, a duly licensed Land Surveyor in and for the State of South Dakota, that said plat is in accordance with the system of streets and alleys set forth in the Master Plan adopted by the City Planning Commission of the City of Mitchell, South Dakota, and that such plat has been prepared according to law;

THEREFORE, be it resolved by the City Council of Mitchell, South Dakota, that the plat of LOTS 5 AND 7, BLOCK 4A OF WESTWOOD FIRST ADDITION, A SUBDIVISION OF BLOCK 4 OF WESTWOOD FIRST ADDITION IN THE NW 1/4 OF SECTION 16, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA, prepared by Paul J. Reiland, be and the same is hereby approved and the description set forth therein and the accompanying surveyor's certificate shall prevail.

The undersigned does hereby certify that the foregoing resolution was passed by the City of Mitchell, South Dakota, at a meeting held on the _____ day of _____, 2020.

Finance Officer/Deputy Finance Officer of the City of Mitchell

CERTIFICATE OF COUNTY TREASURER

The undersigned does hereby certify that all taxes which would, if not paid, be liens upon any of the land included in the within and foregoing plat, as shown by the records of this office, have been fully paid.

Treasurer/Deputy Treasurer of Davison County

Date

DIRECTOR OF EQUALIZATION

The undersigned does hereby certify that a copy of the plat of LOTS 5 AND 7, BLOCK 4A OF WESTWOOD FIRST ADDITION, A SUBDIVISION OF BLOCK 4 OF WESTWOOD FIRST ADDITION IN THE NW 1/4 OF SECTION 16, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA, has been received by me and is filed in this office.

Director of Equalization/Deputy Director of Equalization of Davison County

Date

REGISTER OF DEEDS

STATE OF SOUTH DAKOTA)
)SS
COUNTY OF DAVISON)

FILED for record this _____ day of _____, 2020, at _____, and recorded in Book _____ of Plats on Page _____ therein and recorded on Microfilm Number _____.

Register of Deeds, Davison County

By _____

Deputy

SPN

& Associates

Engineers, Planners and Surveyors

2100 North Sanborn Blvd. - P.O. Box 398 Mitchell, South Dakota 57301
Phone: (605) 996-7761 Fax: (605) 996-0015



