



Historic Preservation Commission Agenda
City Council Chambers, City Hall, 612 N. Main Street
October 4, 2023

- 1. 5:15 PM Call to Order**
- 2. Roll Call**
- 3. Election of Officers**
- 4. Declaration Of Conflicts Of Interests**
- 5. Approval of Agenda**
- 6. Approval of Previous Minutes: April 27, 2023**
- 7. Review and Comment: SHPO 11.1 case Review for 514 N Main St**
- 8. Other Business**
- 9. Public Input:**

If you need to address the Board on an item that was not on the agenda, excluding personnel items, please come forward to the podium and state your name and your concern. Presentations are limited to three minutes. Items will be considered but no action will be taken at this time.
- 10. Adjourn**

Individuals with disabilities who require special assistance to take part in this meeting may contact one of the following at City Hall (605) 995-8420 at least 24 hours prior to the meeting with requests for assistance: Human Resources Officer or the City Administrator.

Historic Preservation Commission Minutes
City Council Chambers, City Hall, 612 N. Main Street
April 27, 2023

1. Call to Order

Vice Chairperson Clark called the April 27, 2023 Mitchell Historical Preservation Commission meeting to order at 5:15 P.M. in the Council Chambers, City Hall, 612 N Main Street.

2. Roll Call

Quorum is met, simple majority vote required for all items.

Present: Bradley (5:21), Buechler, Clark, Genzlinger, Pooley, Schwalm.

Absent: Enders, Jirsa, Logan, Swenson.

Staff Present: Jenniges.

3. Declaration Of Conflicts Of Interests

Genzlinger stated that he had walked through 300 N Main St with the applicants but after sending them a bill, they did not get the contract on the job moving forward. The board did not see that as a conflict of interest since he has no financial gain moving forward.

4. Approve Agenda

Motion by Buechler, seconded by Genzlinger to approve the proposed agenda. All present voting aye; motion carried.

5. Approval of Previous Minutes: April 6, 2023

Motion by Schwalm, seconded by Pooley to approve the amended minutes of the April 6, 2023 Mitchell Historic Preservation Commission meeting. All present voting aye; motion carried.

6. Review and Comment: SHPO 11.1 Case Review for 300 N Main St

Chairperson Clark acknowledged Bradley joining the meeting at 5:21.

Jenniges explained the applicants applied for a TIF and the scope of work would require a building permit and therefore approval from SHPO. SHPO was notified and based on the information provided, they determined the proposed project has the potential to encroach upon, damage or destroy historic property that is included in the National Register of Historic Places; specifically, the proposed windows and the new entrance to the historic building must be sympathetic and compatible in design, material and size in order to not encroach upon, damage or destroy historic property. Therefore, they requested the 11.1 abbreviated case review regarding additional project information, the design, size and materiality of the replacement windows, and the design of the new street access. Jenniges went through the case report and photos with the board. The applicant was present to answer questions.

Buechler questioned the unusable office space and new entrance being created. Don Dahl stated one of the current tenants did not rent out about 1300 square feet of office space. By doing so, there is no entrance into that location without going through a maze of hallways. It would be hard for anyone to know the potential business is there and how to get to it since it is also the same entrance and hallway to the tenants' apartments. Dahl stated they will make the new entrance resemble the existing entrances on the south side of the building.

Dahl explained the different styles of windows throughout the building and their intention to restore them back to wood windows like they had done across the street at the Crafty Fox building. They also intend to keep the old window signage where possible.

Motion by Pooley, seconded by Bradley to agree with the 11.1 case report. All present voting aye; motion carried.

7. Other Business:

None.

8. Public Input:

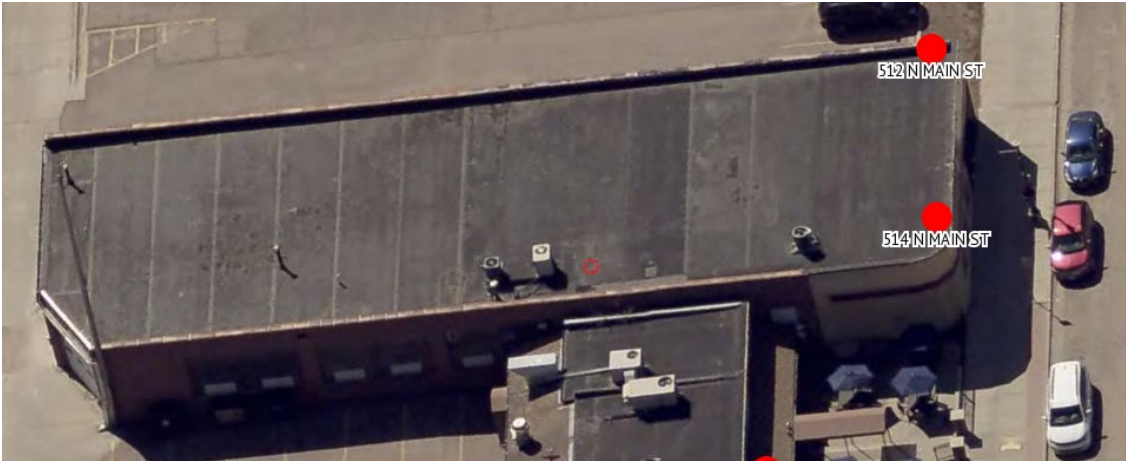
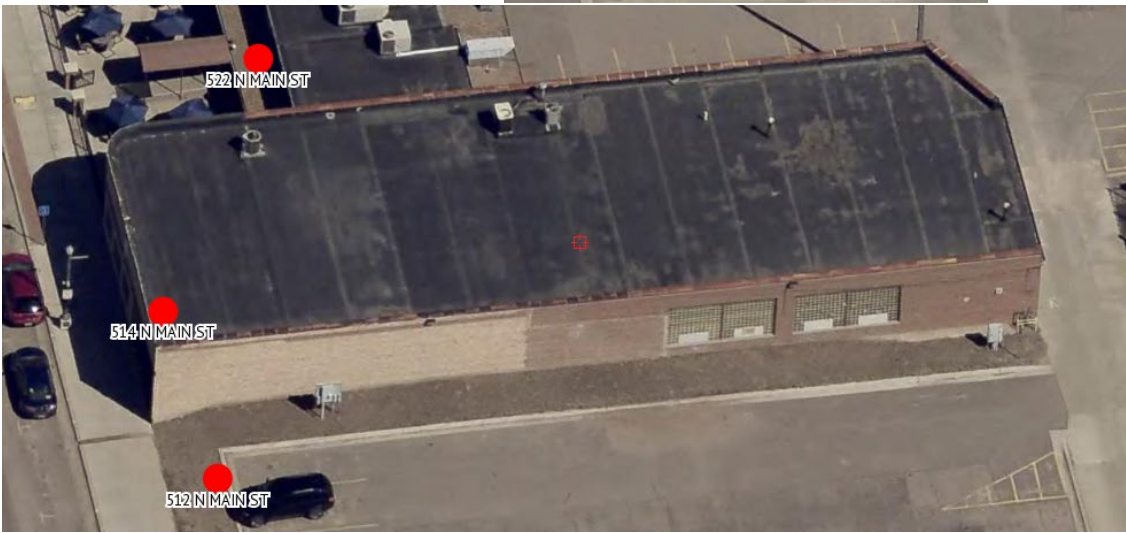
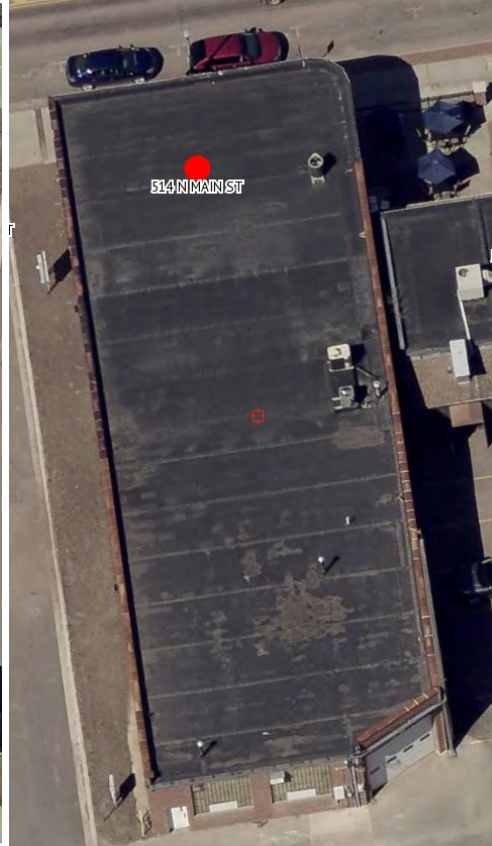
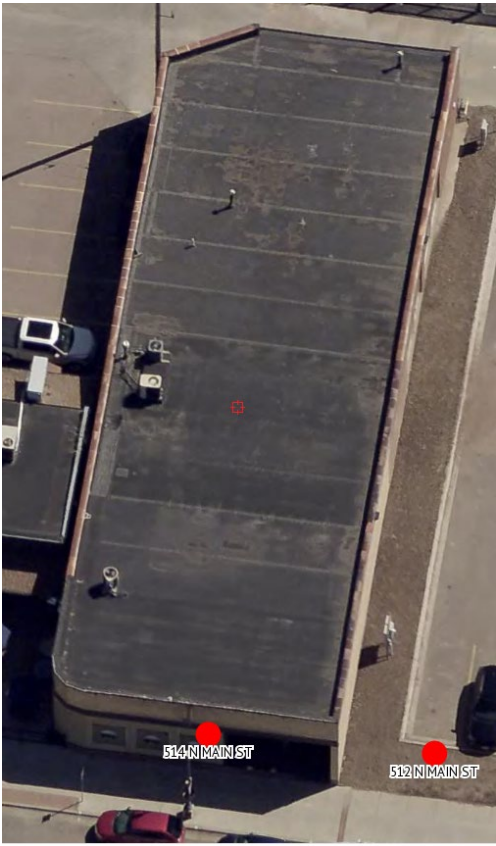
None.

9. Adjourn

Vice Chairperson Clark asked for a motion to adjourn the meeting. Motion by Schwalm, seconded by Buechler, to adjourn the meeting at 5:28 P.M. All present voting aye; motion carried.

Pat Clark
Historical Preservation Commission Vice Chairperson





Bradley's Pub & Grille
514 North Main Street
Mitchell, SD

To Whom It May Concern:

Puetz Design + Build on behalf of the Owners of Bradley's Pub & Grille hereby request review and approval of the attached proposed interior building along with exterior repair and rehabilitation plan.

This building will invest in the downtown of Mitchell and has significant prominence with its proximity to the Corn Palace. The ability to convert what was once a private office space into a vibrant public restaurant that emphasizes outdoor seating and views of the Corn Palace will add to the appeal of the downtown Historic Commercial District. We have researched many options for the exterior design and have referenced historic photos to uncover some of the windows that have since been boarded up or covered over. (Attachment A)

You will note that the overall historic form and shape of this building has been retained and that the windows are being restored to a more historic layout than it currently showcases. The unique curved corner allows the building to open itself to the Corn Palace and to Main Street. The window openings, previously boarded over, will be reopened. No windows along the entirety of the façade will be bricked over. The current exterior materials are damaged and in poor condition and will be replaced with more durable and suitable materials.

The remainder of the building will retain the brick façade currently in place. We will celebrate and salvage any brick that we can including areas on the interior. These will be an important aesthetic feature of the new design and ambiance of Bradley's Pub & Grille. The entrance will retain its recessed nature but is reconfigured to accommodate ADA access as required.

It is our belief that the plan presented represents a great solution to repurpose this downtown building. It not only maintains the historic nature of the building, but also enhances and contributes to Mitchell's Historic Commercial District by reutilizing an existing structure and giving it new life as a restaurant and exciting community hub. We respectfully request the approval of the plan by the Committee in order to move forward with our investment in preserving this historic structure in the heart of downtown Mitchell.

Sincerely,

Sienna Wegehaupt
Lead Architect
Puetz Design + Build

Bradley's Pub & Grille
514 North Main Street
Mitchell, SD

Attachment A

This photo was taken in 1956, riding in the car are Lin Jennewein, a 1957 DWU graduate (on the left) and Anita Napier Yarrington, 1958 DWU graduate, representing the Phi Gamma Sorority in the Blue and White Days parade on Mitchell's Main Street. Lin Jennewein was president of Phi Gamma for the 1956-1957 school year. Driving the car is Earl Erickson, father of the car's owner. In the background is Dolan's Standard Service, 522 North Main, owned by Buell Dolan (now occupied by the Scoreboard). To the right of the gas station is Automotive Supply Company at 514-16 North Main (now Northwestern Public Service).





September 25, 2023

Mark Jenniges
City of Mitchell
612 N Main St
Mitchell, SD 57301

SDCL 1-19A-11.1 Consultation

Project: 230825009S – Bradley's Pub & Grille
Location: Davison
COM - City of Mitchell

Dear Mark,

Thank you for the opportunity to comment on the above referenced project pursuant to SDCL 1-19A-11.1. The South Dakota Office of the State Historic Preservation Officer (SHPO) would like to provide the following comments concerning effect of the proposed project on the non-renewable cultural resources of South Dakota.

On August 25, 2023, the SHPO received notification of the above-referenced project located at 514 N Main St in Mitchell, SD. The proposed project involves interior and exterior rehabilitation, and adding a rooftop patio. This property is contributing to the Mitchell Historic Commercial District, which is listed in the National Register of Historic Places. SDCL 1-19A-11.1 outlines a specific process that must be followed prior to any governmental action that may harm any historic property that is included in the National or State Registers of Historic Places.

Based upon the information provided, the proposed project has the potential to encroach upon, damage or destroy historic property that is included in the National Register of Historic Places or the State Register of Historic Places. Specifically, the proposed project has the potential to damage historic property due to the removal of historic character defining brick on the primary facade and the proposed rooftop addition's massing and scale on the current one story building will be highly visible and alter the buildings historic character. Reducing the scale and implementing a larger setback to reduce visibility may potentially be a possible alternative that reduces impacts to the historic character of the building. The Interpreting the Secretary of the Interior's Standards for Rehabilitation Bulletin #36 on rooftop additions advises:

The Secretary of the Interior's Standards for Rehabilitation allow the construction of new additions if they do not destroy significant fabric, and if their design is compatible with the size, scale, color, material, and character of the property and the historic district if applicable. However, not all historic buildings can be enlarged in a manner that is consistent with the Standards, whether for reasons of size, siting, or location within a district. With regard to rooftop additions, the Guidelines for Rehabilitating Historic Buildings recommend that new rooftop additions be designed so that they are inconspicuous from the public right-of-way, are set back from the primary elevation of the building, and do not damage character-defining features of the historic building. Rooftop additions are almost never appropriate for buildings that are less than four stories high. Generally, rooftop additions should not be more than one story in height, and are more compatible on buildings that are adjacent to taller buildings or dense urban environments. Rooftop additions that do not meet these principles generally will not meet the Standards.



Therefore, the SHPO is requesting an abbreviated case report regarding the alteration of the primary facade, the rooftop addition, and any alternatives that were considered in regards to the exterior glazed brick masonry consisting of items 1, 2, 5, 7, and 10. For item #10, please have the Mitchell Historic Preservation Commission review and comment on the abbreviated case report within 180 days of receipt prior to submittal to SHPO.

Should you require any additional information, please contact Duncan Trau at Duncan.Trau@state.sd.us or at (605)773-6005. Your concern for the non-renewable cultural heritage of our state is appreciated.

Sincerely,
Jenna Carlson Dietmeier, PhD
Interim State Historic Preservation Officer

A handwritten signature in black ink that reads "Duncan Trau".

Duncan Trau
Historic Preservation Specialist



**SOUTH DAKOTA STATE HISTORICAL SOCIETY
STATE HISTORIC PRESERVATION OFFICE (SHPO)
SOUTH DAKOTA CODIFIED LAW 1-19A-11.1 CASE REPORT**

If a state entity or political subdivision of the state is required by law or rule to report possible threats to the historical integrity of a property listed in the National Register of Historic Places or the State Register of Historic Places, the threat must be reported by means of a case report.

Case reports must provide the State Historic Preservation Office (SHPO) with sufficient information for the office to make an independent review of effects on the historical integrity of historic properties and shall be the basis for informed comments to state entities and the public. Case reports shall thoroughly examine all relevant factors involved in a preservation question. Abbreviated case reports may be requested at the discretion of the SHPO if less than a comprehensive view is needed. (ARSD 24:52:07:03 - Standards for Case Report)

SHPO reserves the right to request more information if needed. Typed forms are preferred. Submittal of this form without all requested information will cause review delays.

This is a new submittal. This is information relating to SHPO project number:

PROJECT LOCATION

Address

City

County

The responsible state entity or political subdivision of the state (cities, counties, etc.) must sign and date this form here prior to submitting it to the SHPO. Projects received without an original signature will cause review delays.

Signature: _____

Date: _____

Name

Title

Agency

FOR SHPO USE ONLY. DO NOT WRITE OR INSERT ANYTHING HERE.

**STATE, CITY, COUNTY, OR OTHER GOVERNING BODY
PERMITTING, FUNDING, LICENSING, OR ASSISTING THE PROJECT**

STATE ENTITY, CITY, COUNTY, OR OTHER GOVERNING BODY

Agency Name

City of Mitchell

Agency Contact Person

Mark Jenniges

Mailing Address

612 N Main St

City, State, ZIP

Mitchell, SD 57301

Email Address

mjenniges@cityofmitchell.org

Phone Number

605-995-8433

APPLICANT OR CONSULTANT CONTACT PERSON, IF APPLICABLE

Company Name

Puetz Design + Build

Contact Person

Sienna Wegehaupt

Mailing Address

800 N Kimball

City, State, ZIP

Mitchell, SD 57301

Email Address

wegehaupts@puetzdesignbuild.com

Phone Number

605-996-2276

PROPERTY OWNER, IF DIFFERENT FROM ABOVE

Name

Jen and Jason Bradley

Mailing Address, City, State, ZIP

522 N Main Street, Mitchell, SD 57301

Email Address

jenniferjamiebradley@gmail.com

Phone Number

605-999-7858

STANDARDS FOR CASE REPORT AS OUTLINED IN ARSD 24:52:07:03

1 & 2. Project Description. Describe the project. Include photographs and maps showing the existing project site and details of the proposed project. Where applicable, drawings, three-dimensional models, or accurate computer-generated representations of proposed construction may be included. The models or representations must clearly show the visual impacts of new construction on the surrounding neighborhood or landscape. Photographs, maps, drawings, and other supplemental materials should be submitted with this form as separate documents.

This project is a single story building on Mitchell's Main Street. It is being converted from its current use as an office building to a grill & pub style restaurant with outdoor seating areas. The building is currently brick on the North, East and South facades. The West facade has previously been altered with a stone stucco material that is in very poor condition (See Reference Images #1 - #4). The current building features many window openings which will be maintained and improved from a historic viewpoint. Windows that have previously been boarded up will be restored to their original openings which is an improvement from its current state of CMU infill, broken glass, and HVAC unit additions.

The Owners cherish the existing brick facades and are trying diligently to maintain and celebrate as much brick as possible both on the exterior and on the interior. It is a key feature for the atmosphere and aesthetic of the new restaurant.

Reference Image #5 demonstrates the immediate surroundings and how the proposed building will be an asset to its neighboring uses and public spaces. The expansion of the current plaza space by the City of Mitchell will be complemented by the restaurant's outdoor patio space expansion that helps maintain an inviting and pedestrian scale to the North side of the building.

Reference Images #6, #7, and #8 demonstrate a historic photo of the building, a current photo of the building, and a proposed photo of the building from approximately the same vantage point.

Image #6 shows with red arrows the windows that were once open as well as a horizontal band with a blue arrow.

Image #7 shows these same areas with arrows in their current condition of boarded up in various manners with stone stucco, paneling, and ribbed metal siding.

Image #8 demonstrates the vast improvement that our design proposes in opening back up the windows and maintaining the horizontal band.

The rooftop seating is set back from the edge of the building to reduce visibility and for safety purposes. From the main right of way, it is 6'-6" feet back from the edge for these reasons. The rooftop seating does not ruin any character-defining features of the historic building. Furthermore, the rooftop addition does not count as a "story" and is only considered an "occupied rooftop". The small structure to house the stair is small enough to be considered ancillary and not counted in the International Building Code as a "story" in any sense due to its small scale.

Reference Image #9 demonstrates a current Google Earth street-view of the building with the 3D modeled proposal superimposed over it. This image demonstrates the low-profile nature of the setback rooftop seating. Most of what is seen in the photo is loose patio furniture and even that is fairly low-profile in nature. The setback nature of the rooftop patio aims to

provide both safety to the users as well as respect the Main Street facade. Only a small portion of the rooftop stair access

3. What is the planning and approval schedule for this project?

Contractor and owner would like the process for review to be completed as soon as possible with seasons beginning to change. City of Mitchell is holding off providing any permits until the 11.1 Case Review process is completed.

4. How was this project brought to the attention of the state or political subdivision (city, county, etc.)?

Demolition Permit

Building Permit

Other - Please explain:

5. Include a physical description of the affected historic property. Economic or situational information relevant to the affected property may be included if applicable.

The building is one-story above grade and will remain as such. The roof is flat and slopes to the East and will continue to do so. The North, East, and South facades are currently original brick and will remain as such. The West facade has been altered and framed in with wood studs and a yellow stone stucco with a horizontal band above windows previously boarded over with various non-historic materials such as ribbed metal panel. The windows will be opened back up to apertures found through investigation. The overall form of the building will remain true to its historic nature. The overall size of the building will not change. The Northeast corner is angled with an overhead opening and will continue to be as such. The Northwest corner is slightly rounded and will continue to be so.

The building was most recently used as an office building. The interior was completely sheet rocked. Although a historic building is not typically seen from the interior, it will be by restaurant goers with the new intended use. The new Owners intend to celebrate the historic brick and clay tile block found inside the building which will be a nice aesthetic, historic feature for restaurant patrons.

6. Describe the potential effects of the proposed project on the historic property, including but not limited to physical and visual effects, alterations to the property, moving the property to another location, or change of use.

7. Provide a description of the feasible and prudent alternatives that were considered and rejected based on factors relevant to the project. Relevant factors should be supported by facts. Include the reason(s) for rejection of feasible and prudent alternatives. Describe other efforts undertaken to minimize harm to the historic property. Provide as much detail as possible when explaining consideration of alternatives and mitigation measures. Questions to be considered when reviewing the project include:

- (a) How were decisions based on the consideration of factual reports, research, tried methods, and/or professional and lay preservation advice?
- (b) How were alternatives beyond the immediate project explored, taking into account broad community or regional issues in which the historic resource may play a contributing role?
- (c) How was the impact of potentially adverse effects on surrounding historic resources, community preservation plans, and long-range community opportunities taken into account, if applicable?
- (d) Were decisions based on professional assessment(s) of the value and basic structural condition of the affected property and estimates of a range of rehabilitation or mitigative options prepared by people experienced in historic preservation work?
- (e) Were adequate periods of time provided for information to be prepared and for preservation options to be attempted?

The primary facade is in rough condition and is not believed to be historic in any way. A stone stucco veneer has been applied to a facade that was framed in with wood. The historic elements such as the base horizontal band and the horizontal band above the windows will be maintained true to their known scale and aesthetic. These are believed to be original due to the interior construction discovered through investigation and the historic reference photo. The overall height and form of the primary facade will be unaltered. One element that will be altered is the steep and non-ADA compliant entrance. Every effort was made to keep the entry form similar to the existing with an extended approach to meet a more accessible and universally usable entry slope. What is believed to be an original recessed entry type will be maintained in keeping with its original exterior form - only in an elongated version. Brick will be used at the altered entry to maintain the most original look possible. The horizontal top band is celebrated in its original form and at the entry of the building as a small canopy. The openings known to be original at the front of the building will be reopened and glazed more in alignment with what we know to be original.

Reference Image #10 shows the recessed entry and the re-opened windows on the West facade.

Brick is a reasonable alternative for the front facade material. This was rejected based on the lack of a brick ledge, the cost to make the project feasible, and the non-historic look that a veneer would add to the project. It was determined that celebrating the truly historic brick and clay tile was superior to adding a fake brick to make it look more in line with history.

One factor beyond the immediate project that needs to be considered is the future demolition of the adjacent building to the North planned by the City of Mitchell. The plan to expand the outdoor public plaza amenity should be considered as this will have an effect on the overall area in question and its general historic nature. (Reference Image #5)

The plaza has been updated from a street to a welcoming public space with signage and sculpture which has greatly benefited the community and is a nice city asset. The adjacent building to the north will soon be updated to be a part of the plaza area as well. The building that was to the South of the building in question was demolished between 2015-2020 (based on Google Earth images) and turned into parking lot. (Reference Images #11-#12)

Another building to the South at the corner is assumed to be demolished too based on historic Google Earth imagery dating to approximately 2007.

We see the proposed improvements and maintenance of 514 N Main as very much in line with its surroundings - it supports the Corn Palace, the adjoining plaza and is better than demolishing it and turning it into parking lot similar to the fate of the building(s) to the South. The primary facade celebrates the historic form and banding. The rooftop is inconspicuously set back from the edge and provides exterior space which helps celebrate and view Mitchell's historic and ever-changing Corn Palace.

The Corn Palace itself has had different configurations of deck accessibility off the Main Street facade throughout the years. The current deck configuration allows for announcers as city parades, tourists to view the downtown from a different perspective, and various community engagement opportunities. This deck will not be dissimilar in height to the proposed rooftop seating. (Reference Image #13-#16)

Forward 2040 is Mitchell's long range community plan and specifically highlights evolving Mitchell's tourism and place-making as well as celebrating the Corn Palace and developing and promoting authentic "Mitchell experiences". We believe that the combination of the Corn Palace, the adjacent plaza development and expansion, and this restaurant housed in a downtown historic building with outdoor space that celebrates the historic form and brick is in alignment with the community's long-range

8. Provide a copy of correspondence with SHPO. Correspondence should include the identification and evaluation of historic properties, assessment of effects, and any consideration of alternatives or mitigation measures. Copies of this information should be submitted with this form as separate documents.

9. Describe efforts made to consider the views of affected and interested parties.

10. If applicable, the Historic Preservation Commission (HPC) in the community where this project is located should review and comment on this case report prior to its submittal to SHPO.

- The HPC agreed with the findings of the case report.
- The HPC disagreed with the findings of the case report.
- The HPC declined to comment on the findings of the case report.

In addition to the above findings, please include official comments from the HPC, if applicable.

11. Provide copies of written views submitted by the public to the state entity, city, county, or other governing body concerning the potentially adverse effects of projects on historic properties and alternatives to reduce or avoid those effects. Copies should be submitted with this form as separate documents.

**Please print this entire form, sign and date the first page,
and mail completed form with any additional documentation to:**

Review and Compliance Coordinator
South Dakota State Historical Society
900 Governors Drive
Pierre, SD 57501

Questions about South Dakota Codified Law 1-19A-11.1 can be directed to:

Review and Compliance Coordinator
(605) 773-8370

Restoration Specialist
(605) 773-6005

Project information submitted to SHPO cannot be returned. This documentation is kept on file at the South Dakota State Historical Society. We review faxed and electronic submissions in the same manner as any other submission and with the same considerations for clarity and completeness. However, original documents with original signature must follow all faxed and electronic submissions. The submission of incomplete, unclear, or confusing information may result in unnecessary delays in the review process until adequate information is obtained.

Additional Resources:

South Dakota State Historic Preservation Office: <http://history.sd.gov/Preservation/>
Link to National and State Register Listed Properties: <http://history.sd.gov/Preservation/NatReg/NatReg.aspx>
Historic Contexts: <http://history.sd.gov/Preservation/OtherServices/SHPODocs.aspx>

National Park Service: <http://www.nps.gov/nr/>
Publications (National Register Bulletins, Preservation Briefs, etc.): <http://www.nps.gov/history/publications.htm>

REFERENCE IMAGE #1



SOUTH FACADE
BRICK (TO REMAIN)

REFERENCE IMAGE #2



WEST FACADE
PAINTED CONCRETE
AND STONE STUCCO
IN POOR CONDITION

REFERENCE IMAGE #3



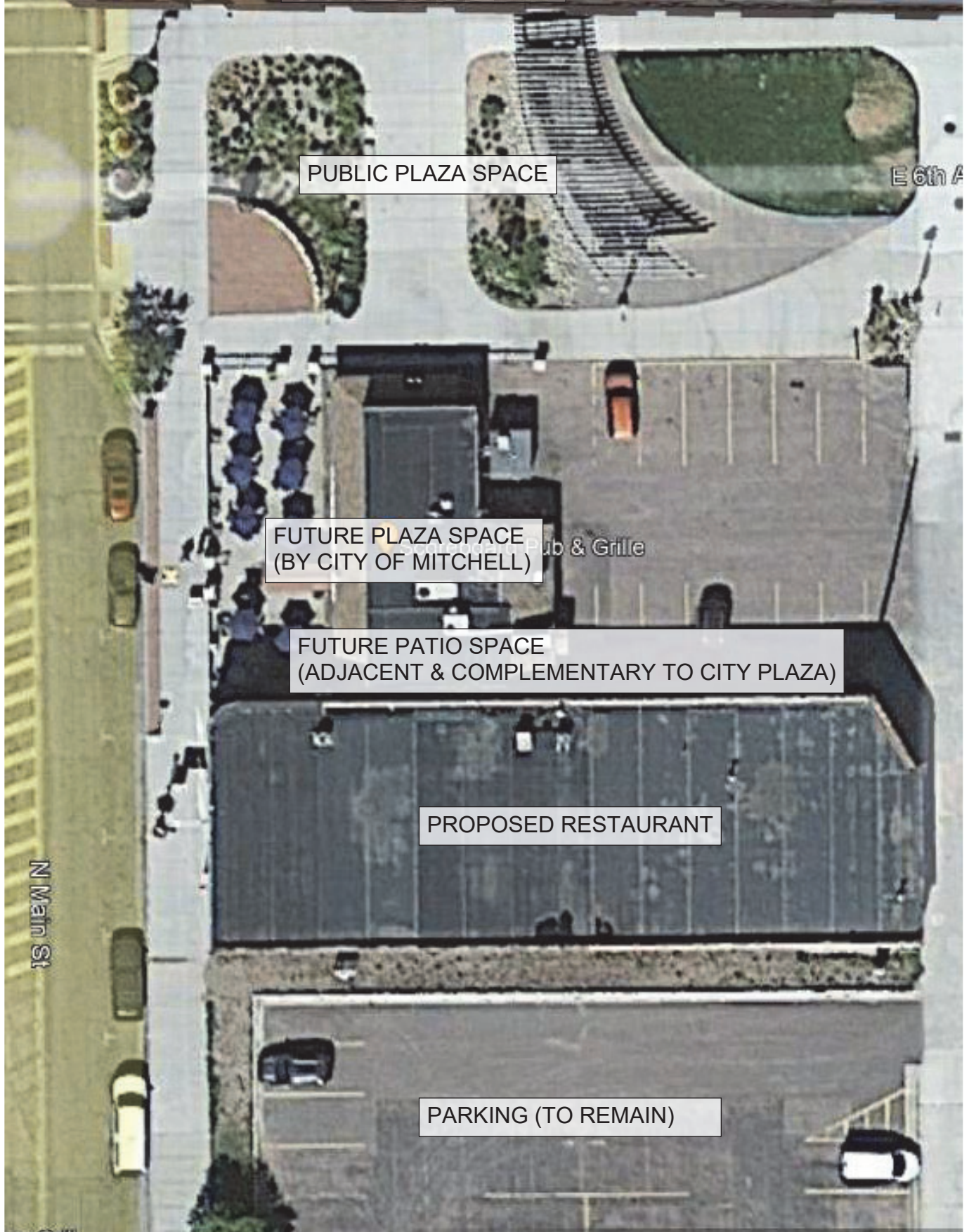
EAST FACADE BRICK
(TO REMAIN)

REFERENCE IMAGE #4

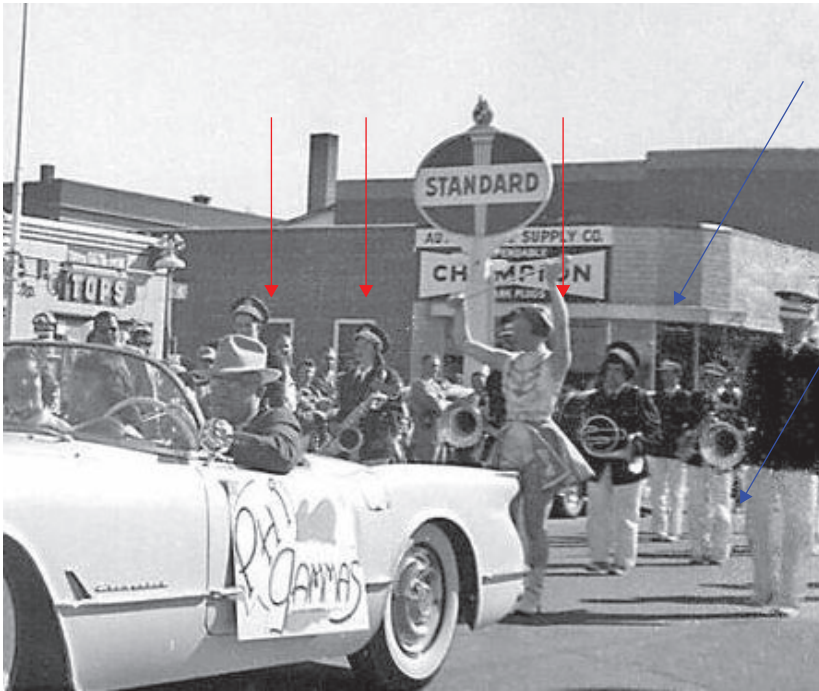


NORTH FACADE BRICK
(TO REMAIN)

EDGE OF CORN PALACE



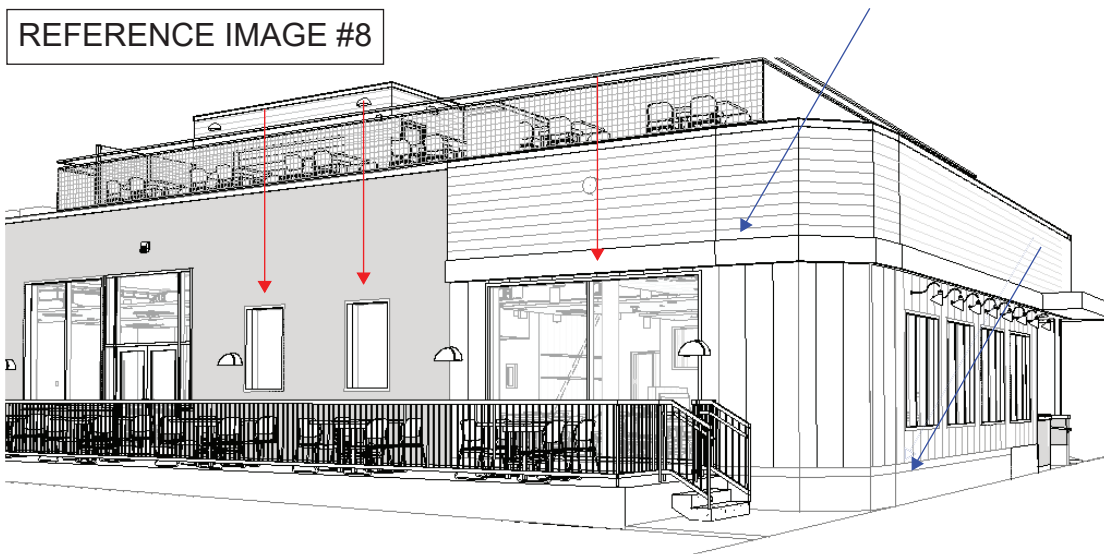
REFERENCE IMAGE #6



REFERENCE IMAGE #7



REFERENCE IMAGE #8



REFERENCE IMAGE #9

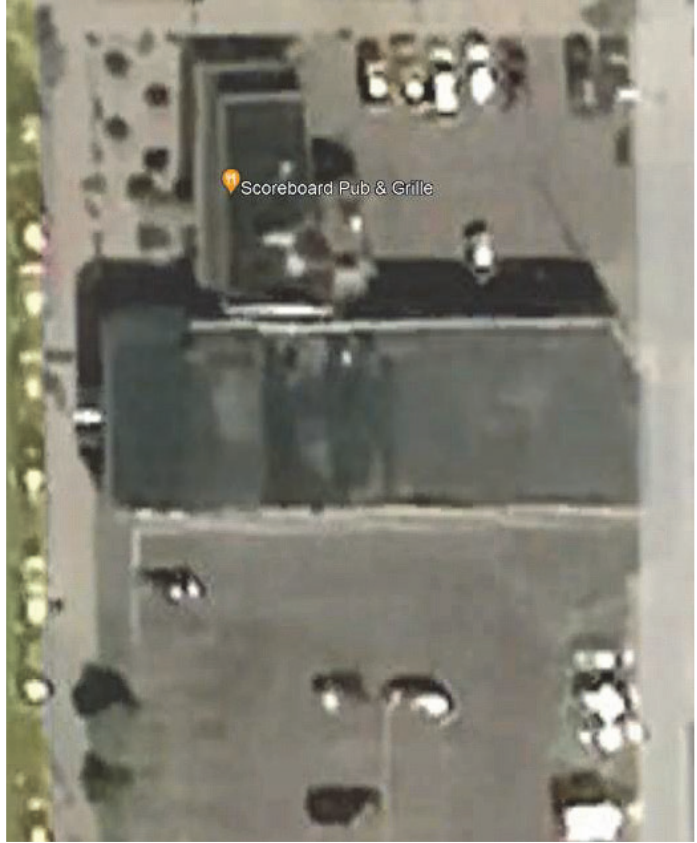


REFERENCE IMAGE #10



REFERENCE IMAGE #11

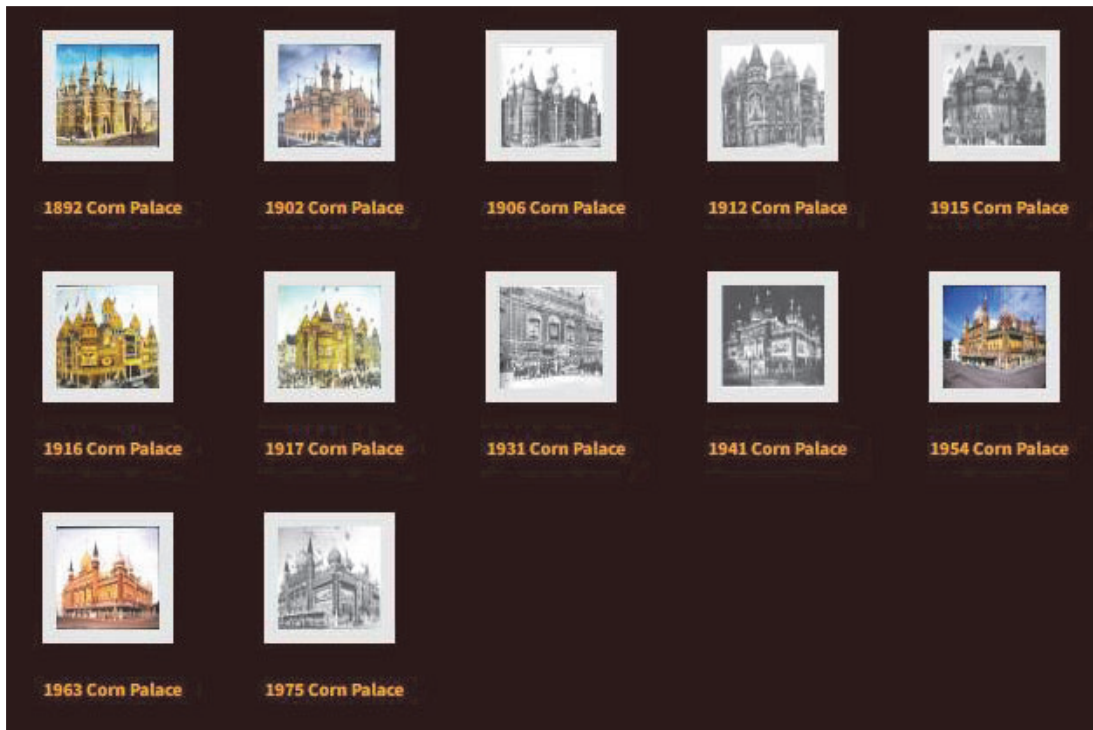
REFERENCE IMAGE #12



DATE: JULY 2015

DATE: AUGUST 2020

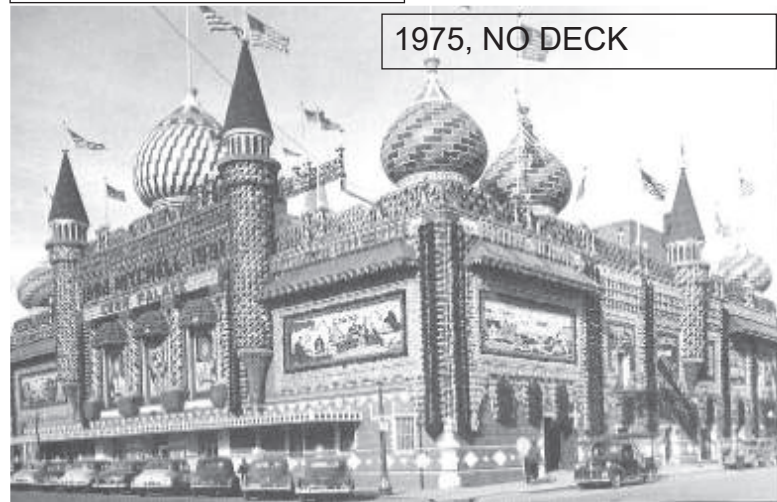
REFERENCE IMAGE #13



REFERENCE IMAGE #14

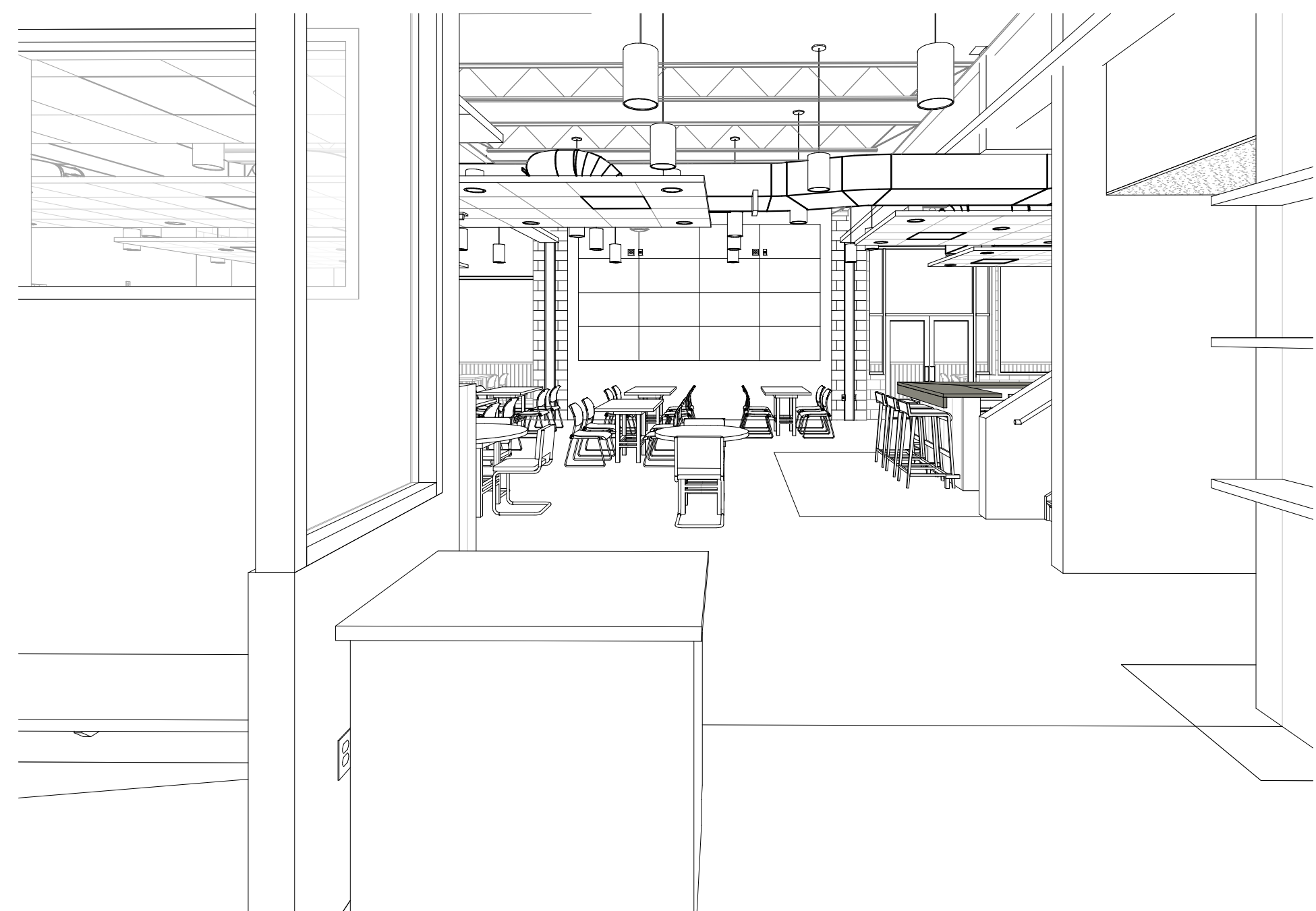
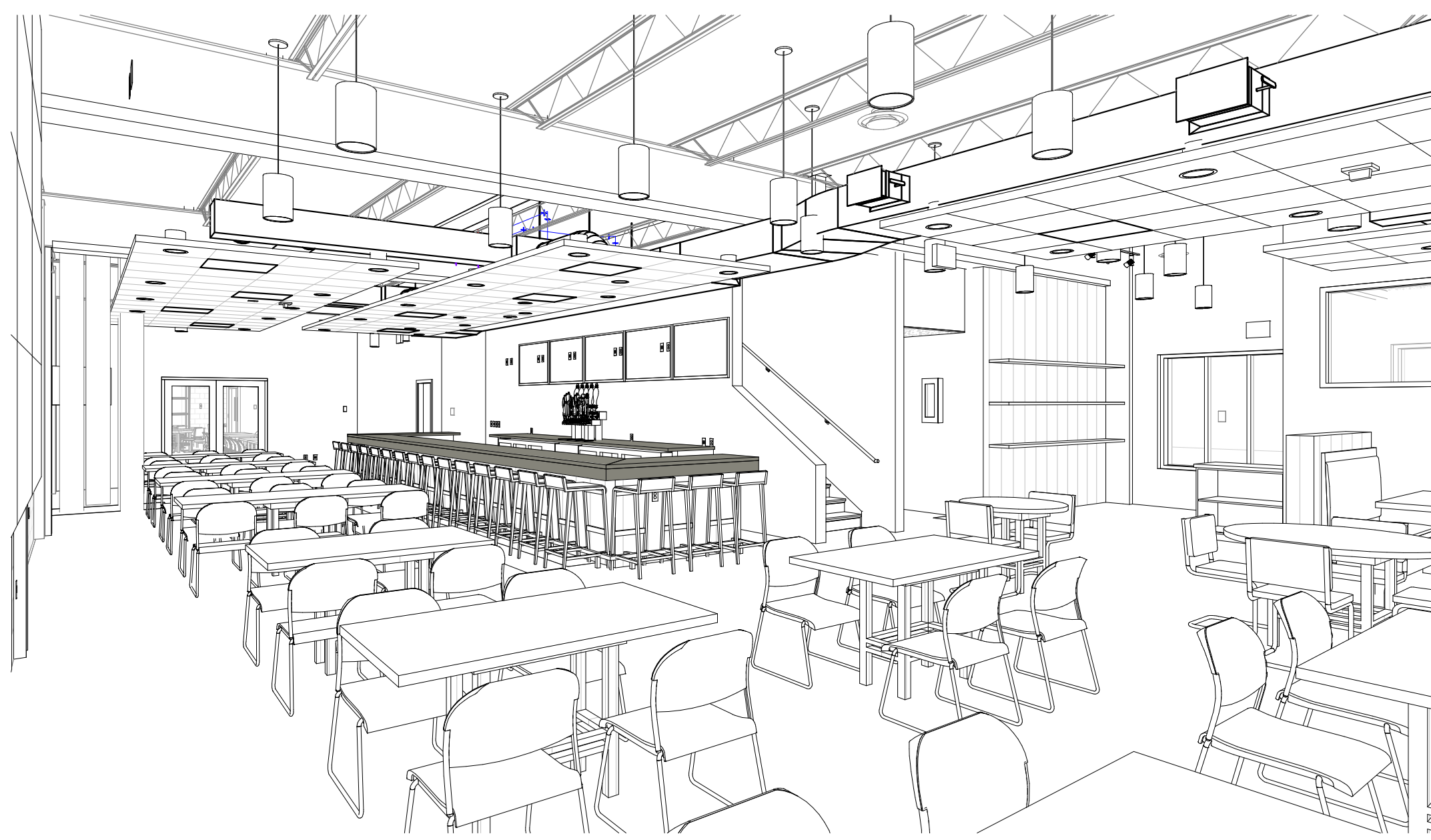


REFERENCE IMAGE #15



REFERENCE IMAGE #16





BRADLEY'S PUB AND GRILLE
514 N MAIN ST
MITCHELL, SD

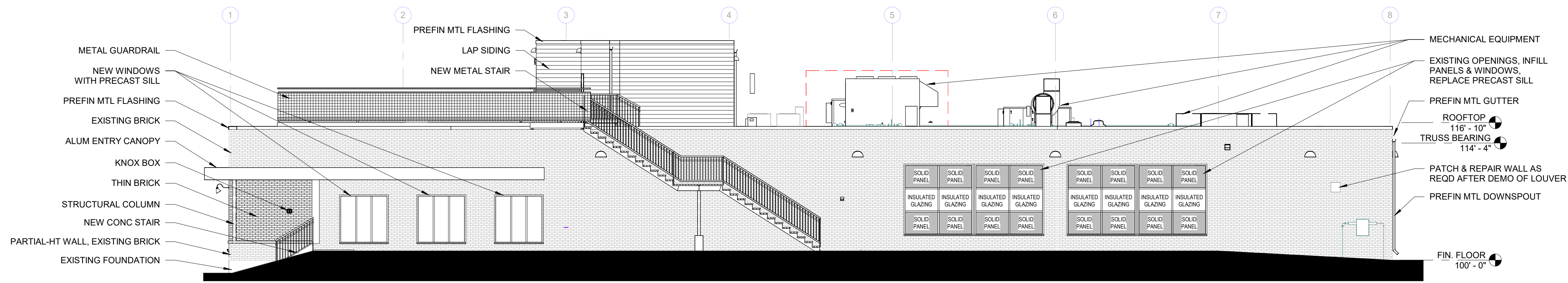
VIEWS

Revision Schedule

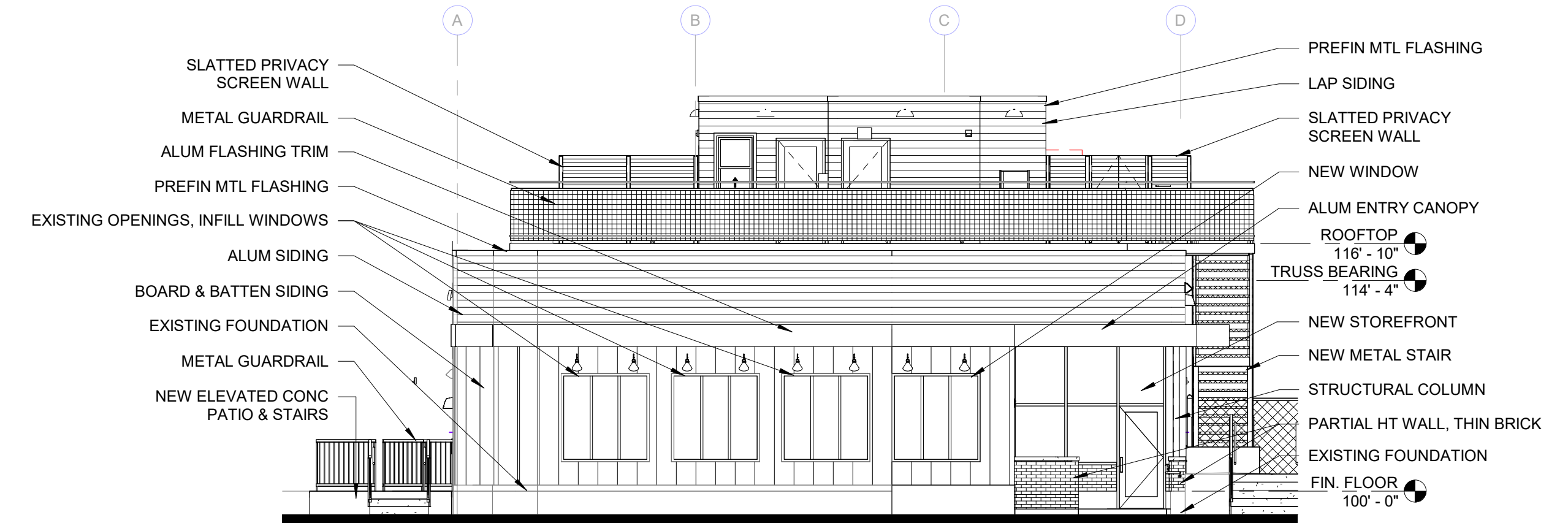
No.	Description	Date

Drawn By: RB/UB
Checked By: SW
Date: 06/30/2023

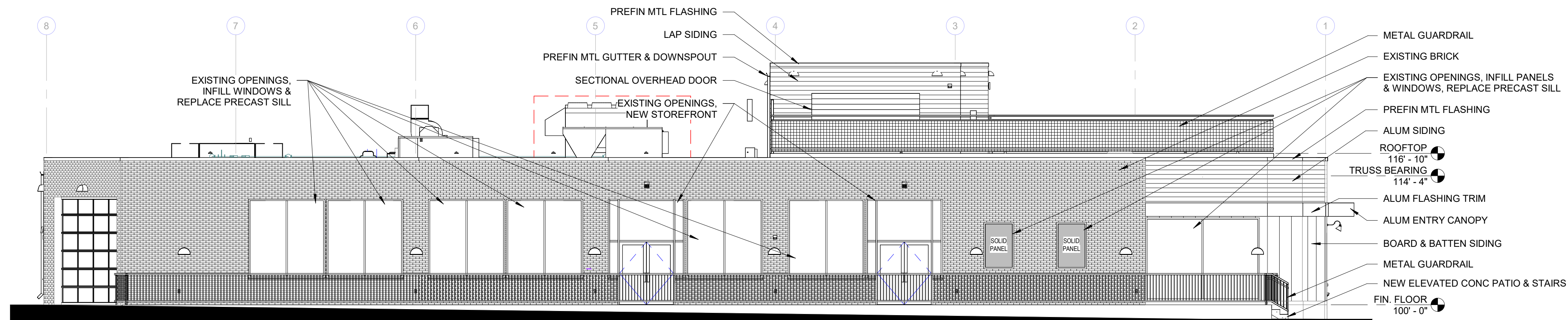
A2.9



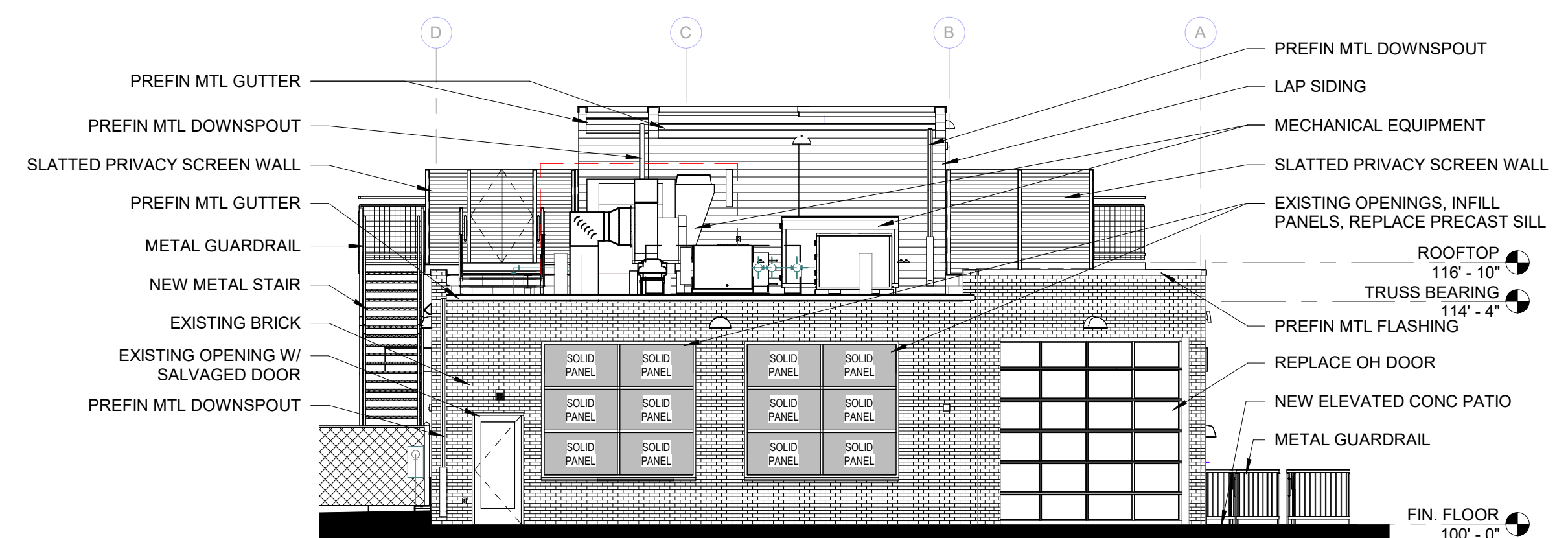
1 SOUTH ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"



3 NORTH ELEVATION
1/8" = 1'-0"



4 EAST ELEVATION
1/8" = 1'-0"

Revision Schedule

No.	Description	Date

Drawn By: RB/UB
Checked By: SW
Date: 06/30/2023



BRADLEY'S PUB AND GRILLE
514 N MAIN ST
MITCHELL, SD

STAIR SECTIONS

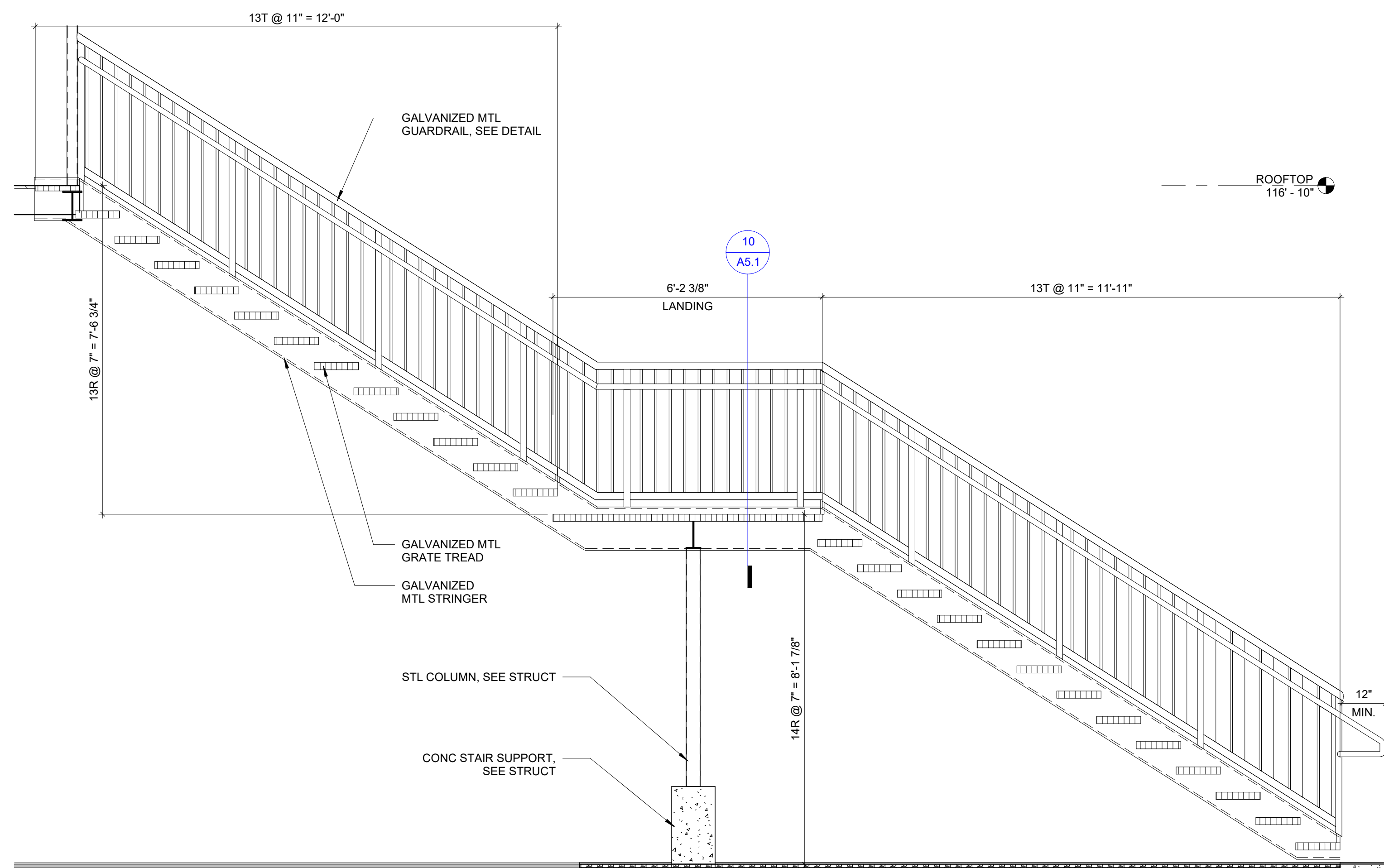
Revision Schedule

No.	Description	Date
3	ADDENDUM 3	08/01/2023

Drawn By: RB/UB
Checked By: SW
Date: 06/30/2023

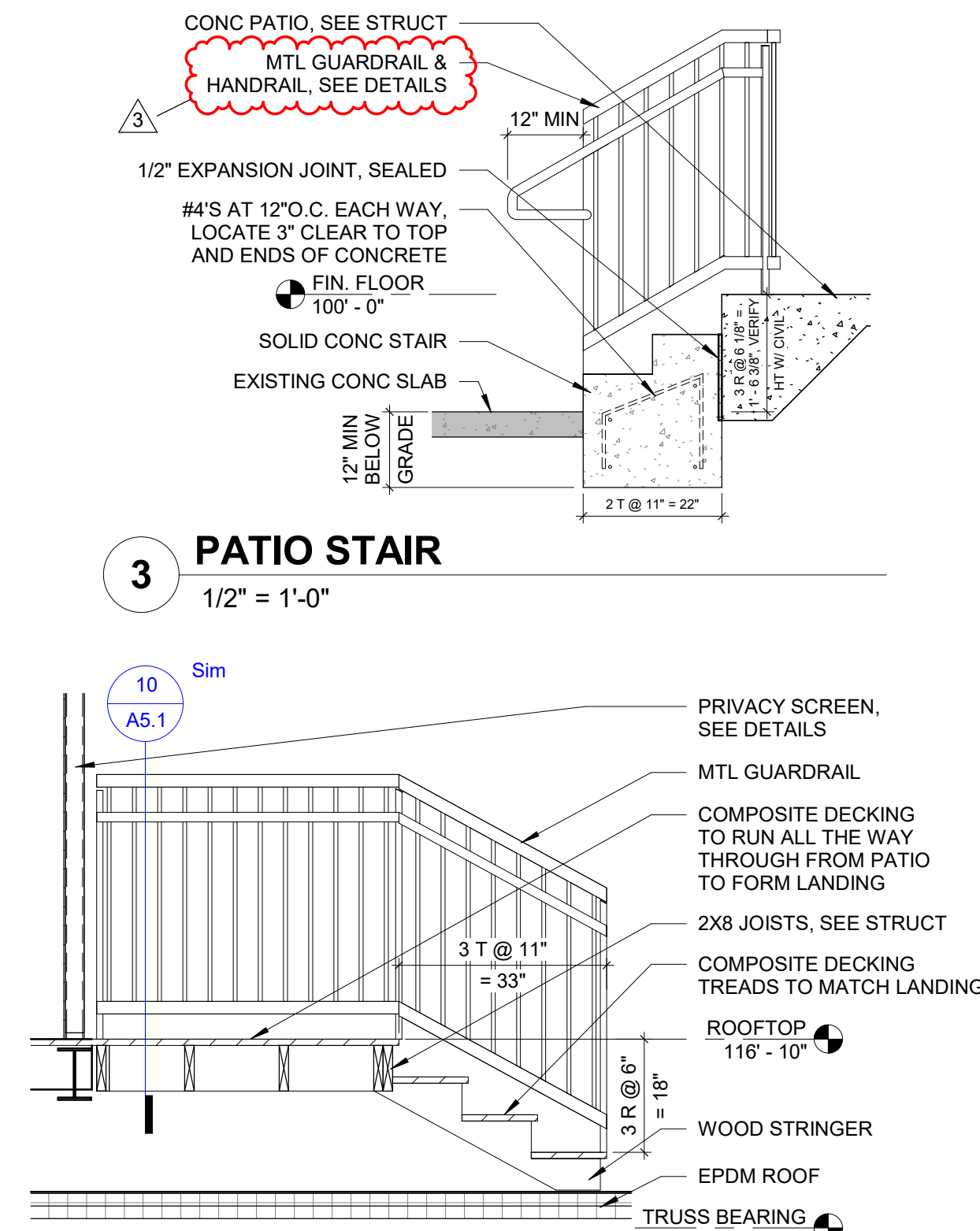
A4.7

8/2/2023 9:12:37 AM | THESE DRAWINGS ARE A COPYRIGHT 2023 DOCUMENT. THESE DRAWINGS SHALL NOT BE REPRODUCED, COPIED OR USED IN ANY WAY WITHOUT THE WRITTEN PERMISSION OF PUETZ DESIGN + BUILD



1 EXTERNAL STAIR SECTION

1/2" = 1'-0"

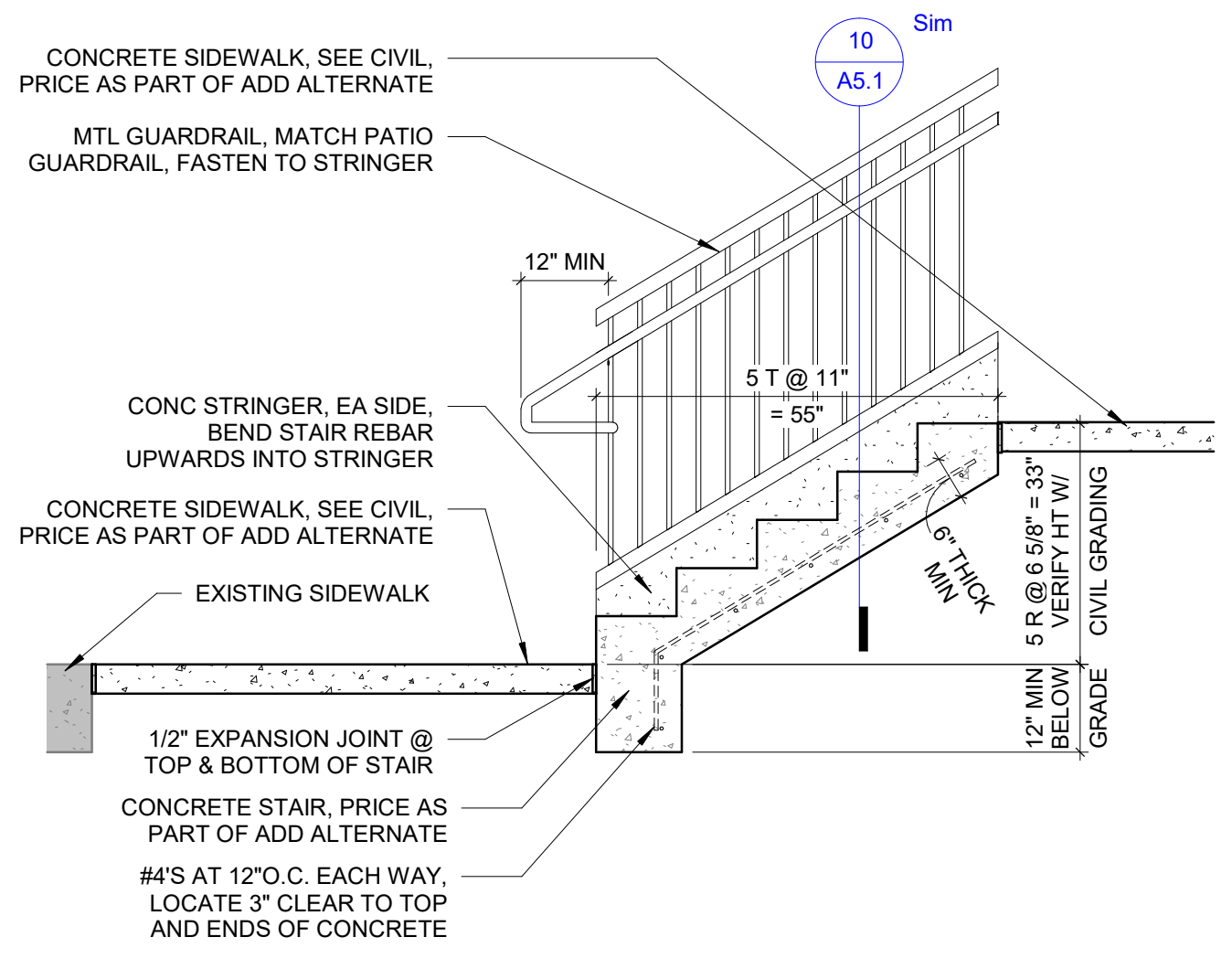


3 PATIO STAIR

1/2" = 1'-0"

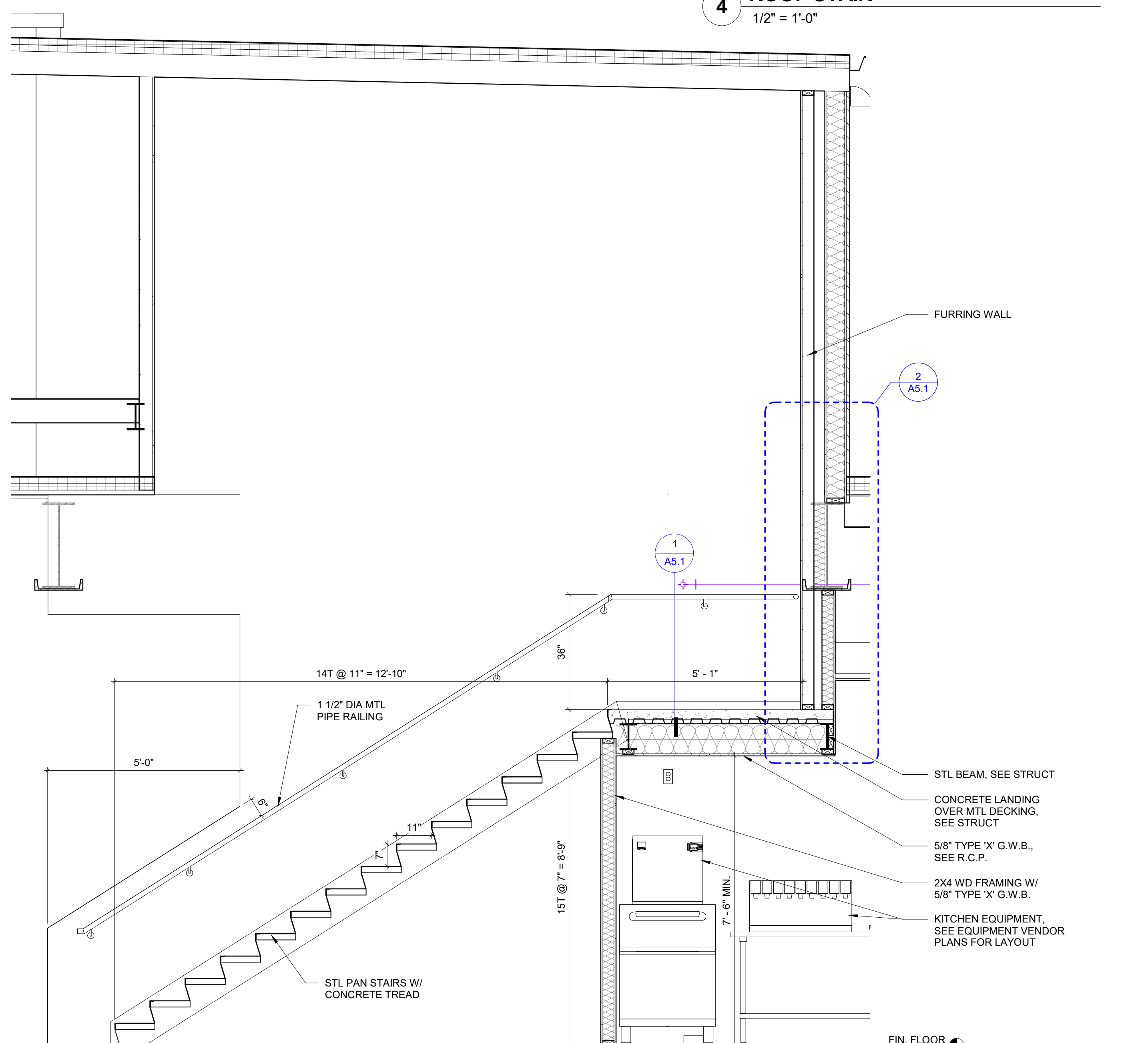
4 ROOF STAIR

1/2" = 1'-0"



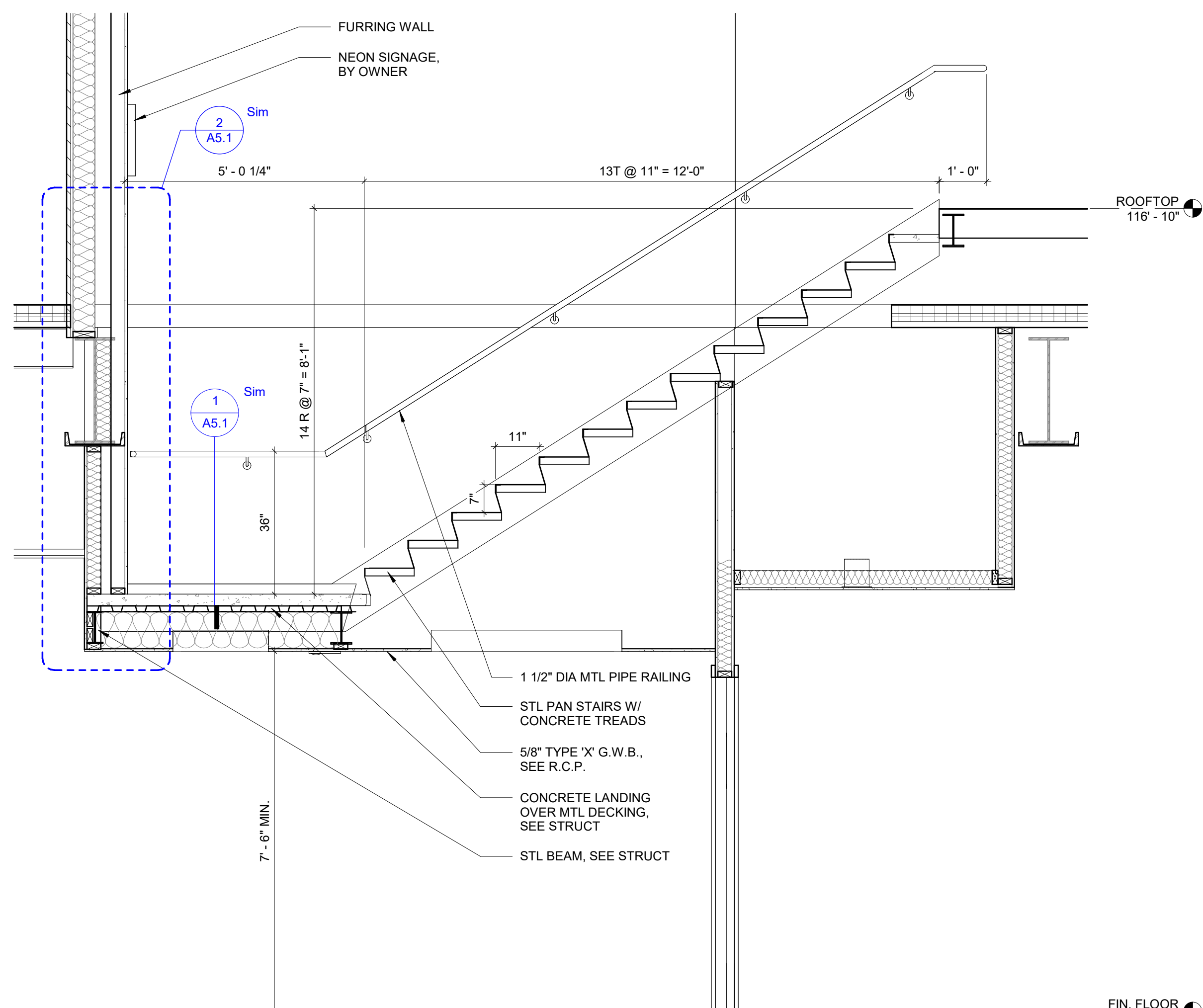
5 EXTERIOR STAIR SECTION (ALTERNATE)

1/2" = 1'-0"



6 INTERNAL STAIR SECTION

1/2" = 1'-0"



2 INTERNAL STAIR SECTION

1/2" = 1'-0"



Revision Schedule		
No.	Description	Date
1	ADDENDUM 1	07/25/2023
2	ADDENDUM 2	07/31/2023

Drawn By: RB/UB
Checked By: SW
Date: 06/30/2023

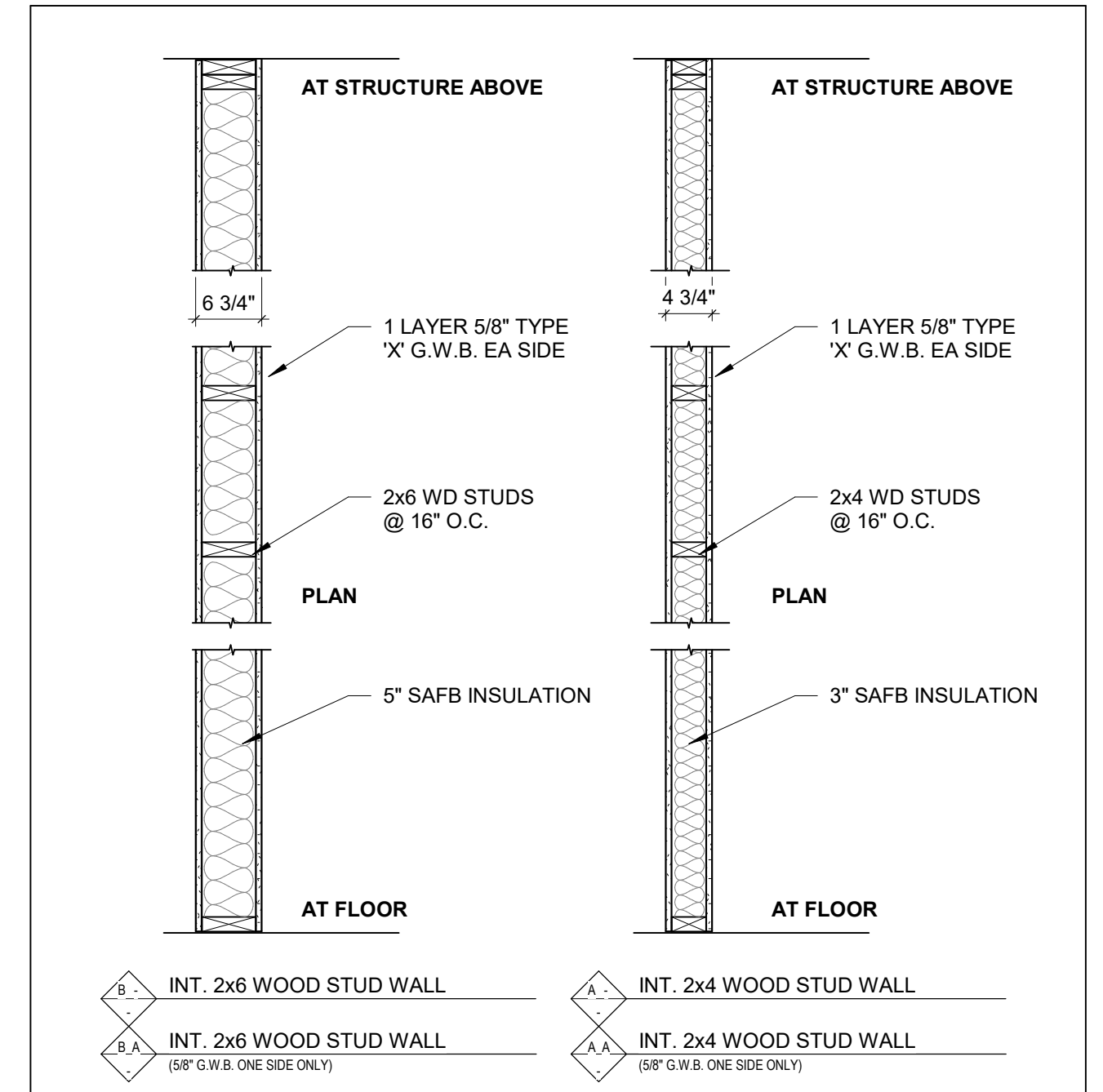
No.	Door			Frame		Hardware Group	Remarks
	Width	Height	Type	Material	Material		
100	3'-0"	7'-0"	FL	ALUM.	F4	ALUM.	1 #P PULL DOOR CLOSER
102A	6'-0"	7'-0"	DFL	ALUM.	F5	ALUM.	1
102B	6'-0"	7'-0"	DFL	ALUM.	F5	ALUM.	1
104A	6'-0"	7'-0"	DFL	S.C. WOOD	F1	HM	2
104B	6'-0"	7'-0"	DNL	S.C. WOOD	F1	HM	3
104C	3'-8"	7'-0"	FP	S.C. WOOD	F2	HM	4
105	3'-0"	7'-0"	FL	ALUM.	EXISTING	ALUM.	8 SALVAGED ENTRY DOOR & FRAME
106	3'-0"	7'-0"	FL	S.C. WOOD	F2	HM	2 HIGHLY TINTED, WITH VISIBILITY OUT OF CASINO BUT NOT IN
107	3'-0"	7'-0"	FP	S.C. WOOD	F2	HM	3
108	3'-0"	7'-0"	FP	S.C. WOOD	F2	HM	3
109	3'-0"	7'-0"	FP	S.C. WOOD	F2	HM	3
110A	3'-0"	7'-0"	NL	Stainless Steel	F2	Stainless Steel	5
110B	3'-0"	7'-0"	NL	Stainless Steel	F2	Stainless Steel	5
110C	3'-0"	7'-0"	NL	Stainless Steel	F2	Stainless Steel	5 BLACK STAINLESS
200	3'-0"	7'-0"	FL	ALUM.	F2	ALUM.	6
202A	3'-0"	7'-0"	FP	HM	F2	HM	7
OH-1	14'-0"	12'-0"	OH-1	-	-	-	SECTIONAL FULLVIEW DOOR W/ WALL OPERATOR, BLACK, CLEAR GLASS
OH-2	12'-0"	3'-0"	OH-2	-	-	-	SECTIONAL DOOR, BLACK, MANUAL

- DOOR SCHEDULE NOTES**
- ALL RATED DOORS TO RECEIVE SMOKE SEALS
 - DOOR THRESHOLDS MUST HAVE A MAXIMUM HEIGHT OF 1/2" WITH A 1:2 BEVEL

NO.	ROOM	FLOOR	BASE	FINISHES				REMARKS
				N	E	S	W	
001	MECHANICAL	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	
100	WAITING	S CONC	VB-1	PT-1	PT-1	PT-1	PT-1	GWB-1 (PT-4)
101	ENTRY	S CONC	VB-1	-	PT-1	PT-1	PT-1	EXPOSED, PT-2
102	DINING	S CONC	VB-1	PT-1 / EXIST BRICK	PT-1	PT-1	PT-1	EXPOSED, PT-2 SEE R.C.P. FOR AREAS OF ACT ACOUSTICAL CLOUDS
103	BAR	S CONC	VB-1	-	-	PT-1	-	EXPOSED, PT-2 SEE R.C.P. FOR AREAS OF ACT ACOUSTICAL CLOUDS
104	PARTY (DELIVERY)	S CONC	VB-1	EXIST BRICK	PT-1 / EXIST BRICK	PT-1	PT-1	EXPOSED, PT-2 SEE R.C.P. FOR AREAS OF ACT ACOUSTICAL CLOUDS
105	CORRIDOR	S CONC	VB-1	PT-1	PT-1 / EXIST BRICK	PT-1 / EXIST BRICK	PT-1	EXPOSED, PT-2
106	CASINO	S CONC	VB-1	PT-1	EXIST BRICK	PT-1	PT-1	ACT-1
107	MEN	CT-3	CT-3	CT-1 / CT-2 / PT-1	CT-1 / PT-1	CT-1 / PT-1	CT-1 / PT-1	ACT-1 SEE INT ELEVATIONS FOR AREAS OF WALL PAINT & TILE
108	WOMEN	CT-3	CT-3	CT-1 / PT-1	CT-1 / PT-1	CT-1 / CT-2 / PT-1	CT-1 / PT-1	ACT-1 SEE INT ELEVATIONS FOR AREAS OF WALL PAINT & TILE
110	KITCHEN	S CONC	VB-1	FRP-1	FRP-1	FRP-1 / PT-5	FRP-1	ACT-2 SEE FLOOR PLAN FOR AREA OF PT-5 (EPOXY) NEAR STAIRS
111	STAIRS	RAF-1	VB-1	PT-1	PT-1	PT-1	PT-1	EXPOSED, PT-2 RAF-1 RUBBER AT TOP LANDING ONLY, CONC STAIRS & MID LANDING
202	ROOFTOP BAR	RAF-1	VB-1	PT-1	PT-1	PT-1	PT-1	EXPOSED, PT-2

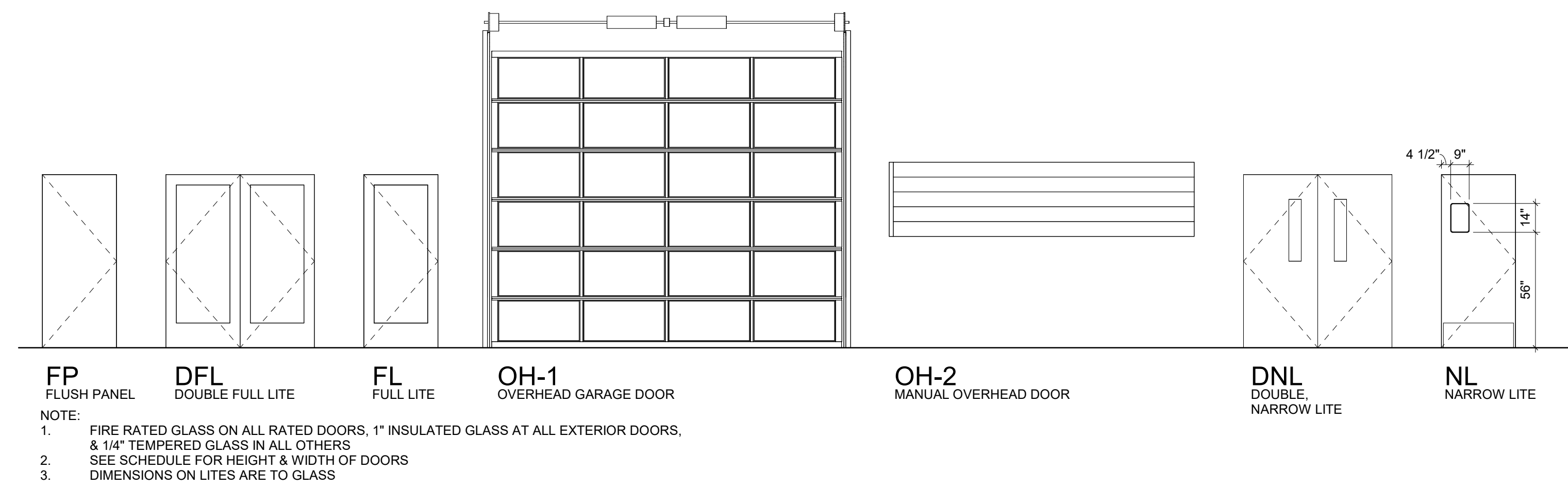
- ROOM SCHEDULE NOTES**
- G.W.B. CONTROL JOINTS SHALL BE INSTALLED PER THE LATEST EDITION OF GA-216 AND ASTM C840 UNLESS NOTED OTHERWISE.
 - JOINTS IN FLOORING TILE SHOULD MATCH UP WITH JOINTS IN CONC SLABS AND ADDITIONAL JOINTS TO BE CUT IF NECESSARY. VERIFY WITH ARCHITECT.
 - FLEXIBLE SEALANT AND COMPRESSIBLE BACKUP REQUIRED AT ALL PERIMETER MOVEMENT JOINTS (WALL TO WALL, FLOOR TO WALL, ETC.), PER TCNA HANDBOOK "E1171 MOVEMENT JOINTS GUIDELINES FOR CERAMIC, GLASS, AND STONE"
 - CORNER GUARDS AT ALL OUTSIDE CORNERS IN PUBLIC SPACES, TYP. (SEE COLOR & MATERIAL SCHEDULE)
 - SEE FLOOR COVERING PLANS FOR FLOOR PATTERNS.
 - ALL INTERIOR G.W.B. WALLS AND CEILINGS SHALL RECEIVE A LEVEL 4 FINISH WITH LIGHT ORANGE PEEL TEXTURE U.N.O.
 - ALL INTERIOR G.W.B. WALLS AND CEILINGS SHALL BE PAINTED WITH PRIMER BEFORE ANY TEXTURE IS APPLIED.
 - FLOOR MATERIAL TRANSITIONS SHALL OCCUR @ CENTER OF DOOR, TYP.
 - SEE INTERIOR SIGNAGE DETAIL FOR SIGNAGE LOCATION.
 - EXPOSED EXISTING BRICK TO REMAIN ON ALL PERIMETER WALLS WHERE A FURRING WALL IS NOT SHOWN.

- ROOM SCHEDULE ABBREVIATIONS**
- # REFER TO COLOR AND MATERIAL SCHEDULE
- ACT SUSPENDED ACT CEILING SYSTEM (SEE R.C.P.)
 - CT CERAMIC TILE
 - FRP FIBER REINFORCED PLASTIC
 - PT PAINT GYPSUM WALLBOARD
 - RAF RESILIENT ATHLETIC FLOORING
 - S CONC SEALED CONCRETE
 - VB VINYL BASE

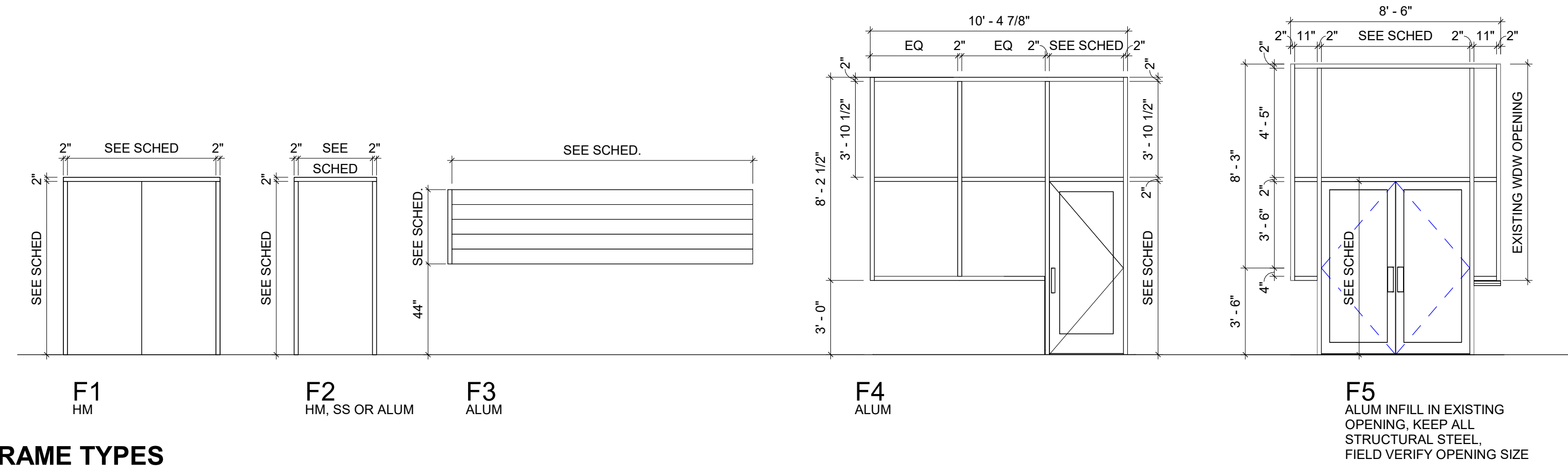


WALL TYPES

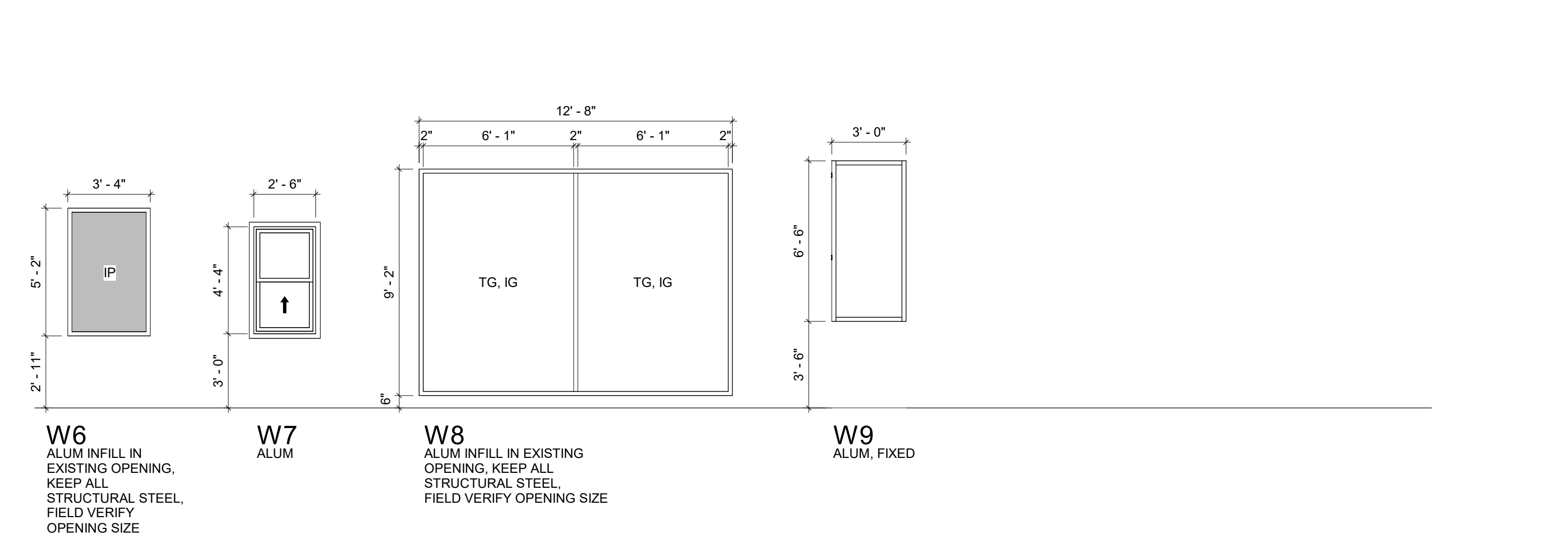
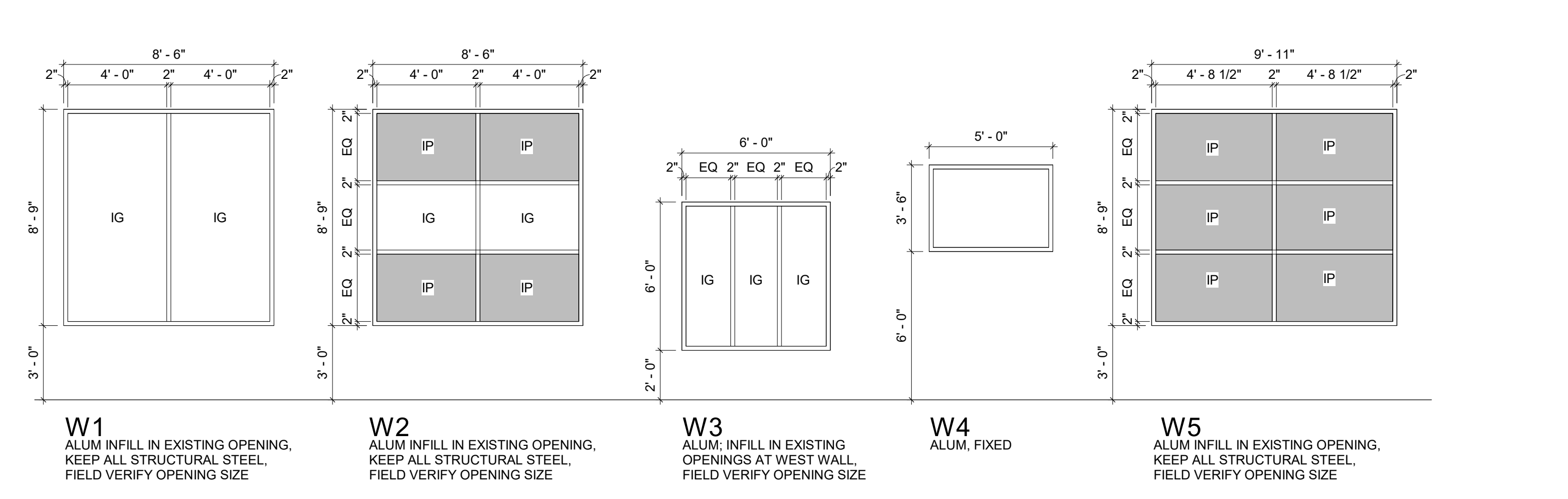
- SEE ROOM FINISH SCHEDULE & COLOR MATERIAL SCHEDULE FOR WALL FINISHES
- FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES, VERTICALLY AT THE CEILING, AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET. FIREBLOCKING SHALL ALSO BE PROVIDED AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL WALL SPACES AND CONCEALED HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND SIMILAR LOCATIONS.



- DOOR TYPES**
- NOTE:
- FIRE RATED GLASS ON ALL RATED DOORS, 1" INSULATED GLASS AT ALL EXTERIOR DOORS, & 1/4" TEMPERED GLASS IN ALL OTHERS
 - SEE SCHEDULE FOR HEIGHT & WIDTH OF DOORS
 - DIMENSIONS ON LITES ARE TO GLASS



FRAME TYPES



IG = INSULATED GLASS
TG = TEMPERED GLASS
IP = INFILL PANEL

NOTE: ALL GLASS TO BE TEMPERED ACCORDING TO CODE

WINDOW TYPES

DIGITAL USERS:
CLICK HERE FOR FLOOR PLAN

DIVISION 04 - MASONRY					
	Manufacturer	Style/#	Color/#	Size	Comments
04 2001 - MASONRY VENEER					
BRK-1	ACME Brick	thinBRIK,	Taconite		Available through I-29 brick
04 7200 - CAST STONE MASONRY					
PC-1	Edwards Cast Stone	E1101	#31 Lt Grey	14"w x 3" high	wall cap at entrance

DIVISION 06 - WOOD, PLASTICS, AND COMPOSITES					
	Manufacturer	Style/#	Color/#	Size	Comments
06 4100 - ARCHITECTURAL WOOD CASEWORK					
PLAM-1	Formica		Planked Urban Oak,9312-NG		Cabinets in party room, apron of bathroom vanity
PLAM-2	Wilsonart		Oiled Soapstone, 488238		Party room Countertop
PLAM-3	Formica		Black, 909-58		Front apron at restroom sinks
06 6100 - SIMULATED STONE FABRICATIONS					
SS-1	Formica	Formica traditions	Ashen Concrete, 607		Bar countertop and windowsills
SS-2	LG		Black Granite, G031		Restroom countertop
SS-3	Granite, Limestone, Soapstone		TBD		Exterior Bar countertop
06 7300 - COMPOSITE DECKING					
FRL-1	Weatherbest	Solid Decking	Driftwood Grey	5/4" x 6"	Basis of design for upper patio flooring
06 8200 - GLASS FIBER REINFORCED PLASTIC					
FRP-1	Marlite	Smooth, S100 S2S	white		Kitchen walls

DIVISION 07 - THERMAL AND MOISTURE PROTECTION					
	Manufacturer	Style/#	Color/#	Size	Comments
07 4616 - EXTERIOR ALUMINUM SIDING					
EAS-1	Longboard Architectural Products	Tongue & Groove Cladding		6" V	Wood look cladding at exterior
EAS-2	Longboard Architectural Products	Privacy Beams/Screens		1" x 5"	Wood look beams for privacy screen. Attach to structure at roof
07 4623 COMPOSITE SIDING					
CS-1	LP	Cedar texture, Lap siding	Primed	6" high	Paint on site, PT-2
CS-2	LP	Cedar texture, Vertical panel	Primed		Paint on site, PT-2, use matching trim boards for the board and batton detail as per drawings

DIVISION 08 - OPENINGS					
	Manufacturer	Style/#	Color/#	Size	Comments
08 1416 - FLUSH WOOD DOORS					
WDR-1	VT	Maple	Ravine, RA07		Wood doors

DIVISION 09 - FINISHES					
	Manufacturer	Style/#	Color/#	Size	Comments
09 3000 - TILING (TILE)					
CT-1	Ceramic Tileworks	COT MOD	White glossy	4" x 16"	Running bond install, up 4' at all walls
CT-2	Ceramic Tileworks	POR Padddingon	Black glossy, Station Deco	4" x 16"	Vertical stacked install at sink wall above CT-1
CT-3	Ceramic Tileworks CAS	Aequa	Castor	8" x 32"	Restroom floor, 1/3 running bond
09 3000 - TILING (GROUT)					
GT-1	Mapei	Ultracolor Plus FA	Pewter, #02		
GT-2	Mapei	Ultracolor Plus FA	Black, #10		
GT-3	Mapei	Ultracolor Plus FA	Chocolate, #07		
09 3000 - TILING (TRIMS)					
TRM-1	Schluter	Quadec	Satin Anod Aluminum, (AE)		At top of tile edge and outside corners. Use corners and connecting accessories as needed
TRM-2	Schluter	Dilex-AHK	Satin Anod Aluminum, (AE)		At floor to wall joint, use inside/outside corner pieces as necessary

TRM-3	Schluter	Reno Ramp			At floor tile edge to concrete
09 5100 - ACOUSTICAL CEILINGS					
ACT-1	USG	Frost, 414	Flat Black, 205	2' x 2' x 3/4"	Overall ceiling tile
ACT-2	USG	Kitchen Lay In, 3210	flat white, 050	2' x 2' x 5/8"	Kitchen ceiling tile
09 6500 - RESILIENT FLOORING (VB)					
VB-1	Johnsonite	Standard cove	Moonrock, #29	4" high	Overall base
09 6566 - RESILIENT ATHLETIC FLOORING					
RAF-1	Ecosurfaces	ECONights	Mr. Slate 10, 652	8mm x 48" wide	Back of bar at upper roof deck
09 9000 - PAINTING AND COATING					
PT-1	Sherwin Williams	Satin finish	Repose Gray, SW 7018		Overall paint
PT-2	Sherwin Williams	Flat finish	Iron Ore, SW 7069		Exterior paint and ceiling dryfall paint
PT-3	Sherwin Williams	Semi Gloss	Iron Ore, SW 7069		Doorframes
PT-4	Sherwin Williams	Flat finish	Pure White, SW 7005		Gyp ceiling at Vestibule
PT-5	Sherwin Williams	Epoxy Paint	Repose Gray SW 7018		Kitchen Paint

DIVISION 10 - SPECIALTIES					
	Manufacturer	Style/#	Color/#	Size	Comments
10 2113.19 - PLASTIC TOILET COMPARTMENTS					
TP-1	Scranton		Onyx		

PUETZ
DESIGN+BUILD



BRADLEY'S PUB AND GRILLE
514 N MAIN ST
MITCHELL, SD
COLOR & MATERIALS SCHEDULE

Revision Schedule		
No.	Description	Date

Drawn By: RB/UB
Checked By: SW
Date: 06/30/2023

A7.2