



Planning Commission Agenda

City Council Chambers, City Hall, 612 N. Main Street
October 23, 2023

- 1. 12:00 PM Call to Order**
- 2. Roll Call**
- 3. Declaration Of Conflicts Of Interests**
- 4. Approve Agenda**
- 5. Approval of Previous Minutes: October 10, 2023**
- 6. Schedule Next Meeting: November 13, 2023**
- 7. Plan Approval: Bradley's Pub & Grille, 514 N Main St, zoned CB Central Business**
- 8. Rezone: NJM Properties LLC-land abutting 2400 and 2424 W Spruce owned by NJM Properties LLC**

NJM Properties LLC is requesting the following property legally described as; Lot 1 of R L Decker 1st Addition in the SE $\frac{1}{4}$ of Section 29, T 103 N, R 60 W of the 5th P.M., Davison County, South Dakota; be changed from HB Highway Business District to UD Urban Development District AND THE OFFICIAL ZONING MAP BE CHANGED TO REFLECT THE SAME (land abutting 2400 and 2424 W Spruce owned by NJM Properties LLC).
- 9. Rezone: Maui Farms Inc, land abutting to the northwest of 5829 Sam St**

Maui Farms Inc is requesting the following property legally described as; Blocks 1 and 2 of Maui Farms Second Addition and a portion of Sam Street, a subdivision of previously platted lot 4 in the East $\frac{1}{2}$ of the West $\frac{1}{2}$ of Section 31, T 104 N, R 60 W of the 5th P.M., Davison County, South Dakota; be changed from UD Urban Development District to Lot S, Maui Farms Second Addition Planned Development District AND THE OFFICIAL ZONING MAP BE CHANGED TO REFLECT THE SAME (land abutting to the northwest of 5829 Sam St).
- 10. Hearing and Recommendation: an Ordinance Amending 10-9D-1, Lot S, Maui Farms Second Addition**

Maui Farms Inc is requesting to amend Lot S, Maui Farms Second Addition Planned Development District by changing 10-9D-1 Legal Description from "Lot S, Maui Farms Second Addition, A Subdivision of the Southeast Quarter (SE $\frac{1}{4}$), Section 31, and Previously Platted Lot 4 in the East $\frac{1}{2}$ of the West $\frac{1}{2}$ of Section 31, Township 104 North, Range 60 W of the 5th P.M., Portions of which lie within the city limits of Mitchell, Davison County, South Dakota." to "Lot S, Maui Farms Second Addition, A Subdivision of the Southeast Quarter (SE $\frac{1}{4}$), Section 31, and Previously Platted Lot 4 in the East $\frac{1}{2}$ of the West $\frac{1}{2}$ of Section 31, Township 104 North, Range 60 W of the 5th P.M., Portions of which lie within the city limits of Mitchell, Davison County, South Dakota and Blocks 1 and 2 of Maui Farms Second Addition and a portion of Sam Street, a subdivision of previously platted lot 4 in the East $\frac{1}{2}$ of the West $\frac{1}{2}$ of Section 31, T

104 N, R 60 W of the 5th P.M., Davison County, South Dakota.

- 11. Plan Approval: Evers Warehouse Units, 2700 N Main St, zoned HB Highway Business**
- 12. Plan Approval: Jokerz Casino, 716 N Rowley St, zoned CB Central Business**
- 13. Plan Approval: Roeder, 2200 W Havens Ave, zoned HB Highway Business**
- 14. Plan Approval: Hohn Brothers LLC (Larry's I-90), 900 Block of E Kay Ave, zoned HB Highway Business**
- 15. Other Business:**
- 16. Public Input:**
If you need to address the Board on an item that was not on the agenda, excluding personnel items, please come forward to the podium and state your name and your concern. Presentations are limited to three minutes. Items will be considered but no action will be taken at this time.
- 17. Adjourn**

Individuals with disabilities who require special assistance to take part in this meeting may contact one of the following at City Hall (605) 995-8420 at least 24 hours prior to the meeting with requests for assistance: Human Resources Officer or the City Administrator.



Planning Commission Minutes
City Council Chambers, City Hall, 612 N. Main Street
October 10, 2023

1. Call to Order

Chairperson Larson called the October 10, 2023 City Planning Commission Meeting to order at 12:00 P.M. noon in the Council Chambers, City Hall, 612 N Main Street.

2. Roll Call

Quorum is met, simple majority vote required for all items.

Present: Genzlinger, Jirsa (telephonically), Larson, Osterloo, Penney (telephonically).

Absent: Doescher, Schmitz, Sonne

Staff Present: Dammann, Ellwein, Mayor Everson, Hegg, Jenniges, J Johnson, Sandoval, Schroeder.

3. Declaration Of Conflicts Of Interests

Genzlinger item #7 & #8.

4. Approve Agenda

Motion by Genzlinger, seconded by Osterloo to approve the proposed agenda. Roll call vote: Genzlinger – aye, Jirsa – aye, Larson – aye, Osterloo – aye, Penney – aye, Schmitz – absent, Sonne – absent. 5 aye, 0 nay, 2 absent; motion carried.

5. Approval of Previous Minutes: September 25, 2023

Motion by Osterloo, seconded by Genzlinger to approve the proposed minutes of the September 25, 2023 Planning Commission meeting. Roll call vote: Genzlinger – aye, Jirsa – aye, Larson – aye, Osterloo – aye, Penney – aye, Schmitz – absent, Sonne – absent. 5 aye, 0 nay, 2 absent; motion carried.

6. Schedule Next Meeting: October 23, 2023

Motion by Genzlinger, seconded by Osterloo to set the date for the next Planning Commission meeting for October 23, 2023. Roll call vote: Genzlinger – aye, Jirsa – aye, Larson – aye, Osterloo – aye, Penney – aye, Schmitz – absent, Sonne – absent. 5 aye, 0 nay, 2 absent; motion carried.

7. Conditional Use Permit: Zion Lutheran Church

Zion Lutheran Church has applied for a Conditional Use Permit to operate Religious Institute (Church Fellowship Hall and Office Space); located at 601, 605 and 611 E 4th Ave (620 E 3rd Ave existing church address), legally described as Lots 5-7, Block 32, Cooley & Guernsey Addition, City of Mitchell, Davison County, South Dakota. The said real property is zoned R2 Single Family Residential District.

Jenniges noted that a notice was sent out to the neighbors, it was published in the official newspaper and sign posted. There was 1 letter received in favor. The applicant was present to answer questions.

Jenniges said this item and the next can be discussed at the same time as they are related, so Jenniges went over the variance for the proposed addition to the church. He also noted that the front of the church is actually the alley side and the street side is the rear yard. Both setbacks are 25' per code.

Jirsa stated he thought it would be pretty rare for both places to be occupied at the same time.

Motion by Osterloo, seconded by Penney to recommend approval of the conditional use. Roll call vote: Genzlinger – abstain, Jirsa – aye, Larson – aye, Osterloo – aye, Penney – aye, Schmitz – absent, Sonne – absent. 4 aye, 0 nay, 2, absent, 1 abstain; motion carried.

8. Variance Permit: Zion Lutheran Church

Zion Lutheran Church has applied for a Variance Permit for the following:

1. Side yard setback along Burr St of 17.5' vs 20' to account for the point of the building overhang.
2. Front yard setback along alley of 16.5' vs 25' to account for pedestrian drop-off roof and overhang.
3. Off-street parking on-site of 0 vs 89 spaces. Standard parking and ADA parking is located on existing adjacent church property and additional parking is planned in the next phase of construction to the east of the subject property.

This is located at 601, 605 and 611 E 4th Ave (620 E 3rd Ave existing church address), legally described as Lots 5-7, Block 32, Cooley & Guernsey Addition, City of Mitchell, Davison County, South Dakota. The said real property is zoned R2 Single Family Residential District.

Jenniges noted that a notice was sent out to the neighbors, it was published in the official newspaper and sign posted. There was 1 letter received in favor. The applicant was present to answer questions.

Shannon Sandoval, owner of 615 E 4th Ave, noted that there is no contract yet on his house. He questioned the east side yard setback. It was noted that the required side yard setback is 3' but the church is 7' from the property line. There is a fence there and he would like that to stay.

Eric Schram, representing Zion Lutheran Church, went over the phased/future drawings of the block. They have right of first refusal on a couple of lots, not with Sandoval's, but they are showing the possibility of getting it and putting a classroom addition on the building. They currently have enough classrooms. This is just for future planning 30 to 40 years down the road. There is parking figured into another phase where they have the right of first refusal. That parking would actually be utilized for the "church" portion and the existing church parking would be used for the church fellowship hall.

Motion by Osterloo, seconded by Jirsa to recommend approval of the variances. Roll call

vote: Genzlinger – abstain, Jirsa – aye, Larson – aye, Osterloo – aye, Penney – aye, Schmitz – absent, Sonne – absent. 4 aye, 0 nay, 2 absent, 1 abstain; motion carried.

Penney left the meeting at 12:15 P.M.

9. Plan Approval: Bankwest, 1200 E Spruce St, zoned HB Highway Business

Jenniges explained Bankwest is building a new building just to the north of their existing building. Jenniges went over the plans presented to the board for their approval.

The applicant was not present to answer questions.

Motion by Jirsa, seconded by Genzlinger to approve the plan. Roll call vote: Genzlinger – aye, Jirsa – aye, Larson – aye, Osterloo – aye, Penney – absent, Schmitz – absent, Sonne – absent. 4 aye, 0 nay, 3 absent; motion carried.

10. Plan Approval: Truck Armor, 2424 W Havens, zoned HB Highway Business

Jenniges explained the applicant would like to put an addition to their building for cold storage. It is over 50' wide so it will have to be a stamped structural building. It is being built over gravel, so the ground is already non-poris. Access and drainage are to the south.

The applicant was present to answer questions.

Motion by Osterloo, seconded by Genzlinger to approve the plan. Roll call vote: Genzlinger – aye, Jirsa – aye, Larson – aye, Osterloo – aye, Penney – absent, Schmitz – absent, Sonne – absent. 4 aye, 0 nay, 3 absent; motion carried.

11. Plat: Lots 2-A, 2-B and 2-C, a subdivision of previously platted Lot 2, all in Block 8 of Westwood First Addition; as requested by Jensen Capital & Development LLC

Jenniges explained the applicant is subdividing an existing lot to build duplexes on. The new plats meets zoning ordinance requirements.

The applicant was not present to answer questions.

Motion by Genzlinger, seconded by Osterloo to approve the plat. Roll call vote: Genzlinger – aye, Jirsa – aye, Larson – aye, Osterloo – aye, Penney – absent, Schmitz – absent, Sonne – absent. 4 aye, 0 nay, 3 absent; motion carried.

12. Hearing and Action on Establishing the Boundaries and Approval of the Project Plan for Tax Increment Financing District #31

Justin Johnson noted that MADDC is the developer for this TIF and the TIF will get 15th Ave constructed. Staff did a review of the project and it met all city and state guidelines. He noted the infrastructure costs for the bid came in lower than the estimates. There has been discussion if interest can be used in project costs and that may change by the time council sees it.

Ellwien noted that there were only minor changes to the plan after staff reviewed it and that this is a good way to complete 15th Ave. This TIF does overlap with county TIF 2, which will pay off in 6 or 7 years and then the whole increment will go towards this TIF.

Genzlinger questioned the irregular shape of the TIF. Ellwein answered that rights-of-way were needed to connect the lots to help capture enough increments. At this time there is no planned development north of 15th Ave and it would have to be completed within 5 years.

Putting 15th Ave in will make north of 15th Ave more marketable and they could come back for another TIF at that time.

Don Petersen, representing MADDC, said one of the major contributors to the TIF is Echo.

They are planning to build a 20,000 to 25,000 square foot building. They needed more access to the building and that's what this TIF does by completing 15th Ave. By expanding to this new location, Echo will have 12 to 15 more employees. He noted that they intend to move the interest to not eligible project cost for reimbursement for the council meeting.

Motion by Genzlinger, seconded by Oster, to set the boundaries for TIF District #31 which is laid out on page 79 of 81 of the packet and page 39 of the TIF application to include the following:

Lot Two A (2A), Block One (1); Lot Four (4), Block Seven (7); Lot Twenty (20), Block Seven (7); and Lot Twenty-one (21), Block Seven (7), all in Westwood First Addition, a Subdivision of the Southwest Quarter (SW ¼) of section Sixteen (16), Township One Hundred Three (103) North, Range Sixty (60) West of the 5th P.M., City of Mitchell, Davison County, South Dakota; and

Lot One (1), Block Seven (7) of Westwood First Addition, less the portion of west 15th Avenue lying within, a Subdivision of the Southwest Quarter (SW ¼) of section Sixteen (16), Township One Hundred Three (103) North, Range Sixty (60) West of the 5th P.M., City of Mitchell, Davison County, South Dakota

Unplatted lots bounded by the south boundary of West 15th Avenue right-of-way on the north, the west side of Lot One (1) on the east, the north side of Lot Two (2) and Lot Twenty-one (21) on the south, and the east boundary of North Ohlman Street right-of-way on the west (upon completion and approval of a recently submitted plat, the above real property is anticipated to be legally described as Lot 22, Block 7 of Westwood First addition, and a portion of West 15th Avenue, a subdivision of the west ½ of Section 16, Township 103 North, Range 60 West of the 5th P.M., City of Mitchell, Davison County, South Dakota); and

West 15th Avenue right-of-way from its west intersection with Commerce Street, extending west to the centerline of the North Ohlman Street right-of-way; and

The east half of the North Ohlman Street right-of-way beginning at the south property line of Lot Twenty (20) to the south intersection of West 15th Avenue right-of-way; and

Commerce Street right-of-way beginning at the southern boundary of Lot Four (4) and extending north to a point Thirty-Five feet (35') north of the north right-of-way boundary of West 15th Avenue.

Roll call vote: Genzlinger – aye, Jirsa – aye, Larson – aye, Osterloo – aye, Penney – absent, Schmitz – absent, Sonne – absent. 4 aye, 0 nay, 3 absent; motion carried.

Motion by Genzlinger, seconded by Osterloo to approve the project plan and recommend approval of TIF District #31. Roll call vote: Genzlinger – aye, Jirsa – aye, Larson – aye, Osterloo – aye, Penney – absent, Schmitz – absent, Sonne – absent. 4 aye, 0 nay, 3 absent; motion carried.

13. Other Business:

None.

14. Public Input:

None.

15. Adjourn

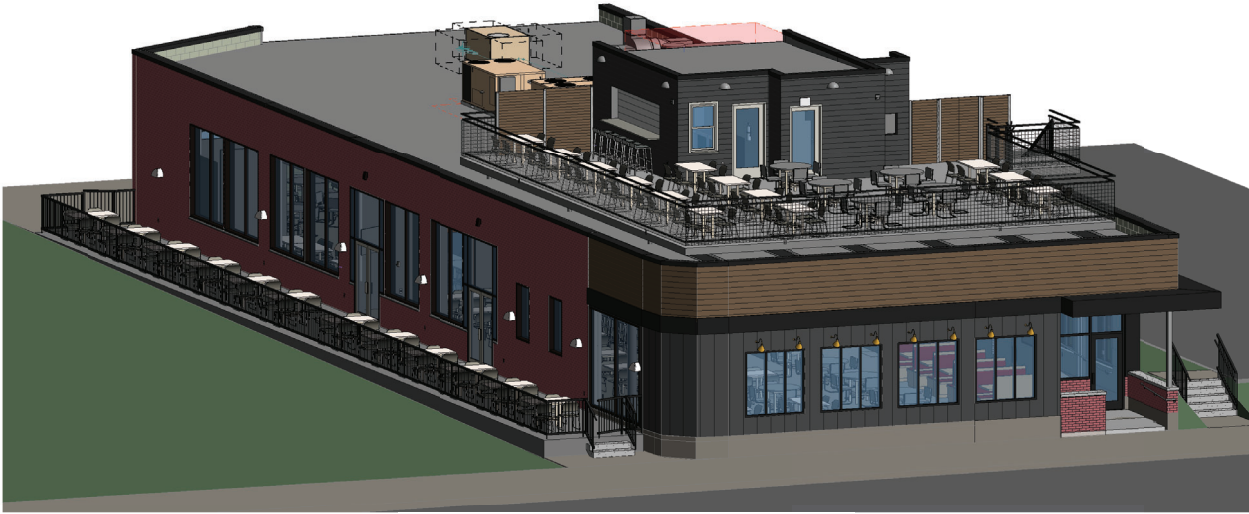
Chairperson Larson adjourned the meeting at 12:32 P.M.

Jay A. Larson
Planning Commission Chairperson



BRADLEY'S PUB AND GRILLE

514 N MAIN ST
MITCHELL, SD



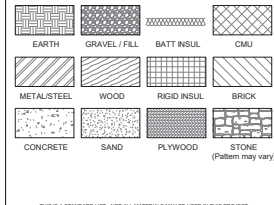
PUETZ
DESIGN+BUILD

-A-	CHAMFER	-E-	GO	GRADE(IN)	LB(S)	POUND(S)	-P-	PAR	REMOVE	T.E.	TRASH ENCLOSURE
AB	ANCHOR BOLT	EA	EAST	EACH	LB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TE	TELEPHONE
ABV	ABOVE	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
AC	AIR CONDITIONING	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
AC	ACROUSTICAL	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
ACFL	ACCESS FLOOR	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
ACT	ACROUSTICAL CEILING TILE	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
A.C.A.	AMERICANS WITH DISABILITIES ACT	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
ADOL	ADDITIONAL	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
ADJ	ADJACENT	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
ADMN	ADMINISTRATION	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
AGG	AGGREGATE	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
A.F.F.	ABOVE FINISHED FLOOR	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
AL	ALTERNATE	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
ALUM	ALUMINUM	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
ANCH	ANCHOR	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
A.P.C.	ARCHITECTURAL PRECAST CONCRETE	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
APPRO	APPROXIMATE	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
ARCH	ARCHITECTURAL	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
AUTO	AUTOMATIC	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
AVG	AVERAGE	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
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BL	BELOW	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
BLK	BLOCK	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
BLK	BLOCKING	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
BM	BEAM	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
B.O.T.	BOTTOM OF	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
BRG	BEARING	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
BRK	BROCK	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
B.S.	BOTH SIDES	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
BTU	BRITISH THERMAL UNIT	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
BTWN	BETWEEN	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
B.U.F.	BUILT-UP ROOFING	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
C	CABINET	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
CAP	CAPACITY	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
C.B.	CONCRETE BLOCK	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
CBM	CUBIC METER	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
CER	CERAMIC	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
C.F.	CORNER GUARD	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
C.G.S.	CENTER OF GRAVITY OF STRAND	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE

Abbreviations

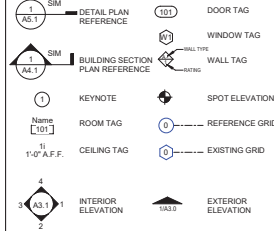
-A-	CHAMFER	-E-	GO	GRADE(IN)	LB(S)	POUND(S)	-P-	PAR	REMOVE	T.E.	TRASH ENCLOSURE
AB	ANCHOR BOLT	EA	EAST	EACH	LB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TE	TELEPHONE
ABV	ABOVE	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
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AVG	AVERAGE	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
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BM	BEAM	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
B.O.T.	BOTTOM OF	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
BRG	BEARING	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
BRK	BROCK	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
B.S.	BOTH SIDES	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
BTU	BRITISH THERMAL UNIT	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
BTWN	BETWEEN	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
B.U.F.	BUILT-UP ROOFING	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
C	CABINET	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
CAP	CAPACITY	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
C.B.	CONCRETE BLOCK	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
CBM	CUBIC METER	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
CER	CERAMIC	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
C.F.	CORNER GUARD	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE
C.G.S.	CENTER OF GRAVITY OF STRAND	EF	EXTERIOR INSULATION	CHILLER/BOARD	LIB	LIBRARY	PSD	PRIVILEGE BOARD	REV	TEMP	TEMPERATURE

Materials Symbols

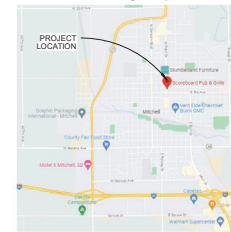


THIS IS A STANDARD LIST. NOT ALL MATERIALS MAY BE USED IN THIS PROJECT.

Detail Indication



Vicinity Map



Project Directory

DESIGN ARCHITECT	Address	Phone
Putz Design + Build	800 N Kimball Mitchell, SD	(605) 996-2278
STRUCTURAL ENGINEER		
Thompson Dreesen & Assoc.	5000 S Minnesota Ave, Suite 300 Sioux Falls, SD	(605) 951-0886
ELECTRICAL ENGINEER		
Associated Consulting Engineers, Inc.	340 S Phelps Sioux Falls, SD	(605) 335-3720
MECHANICAL ENGINEER		
Associated Consulting Engineers, Inc.	340 S Phelps Sioux Falls, SD	(605) 335-3720
CIVIL ENGINEER		
SPN & Associates	2100 N Sanborn Blvd Mitchell, SD	(605) 996-7761

Notes
1. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS.
2. CONSTRUCTION LIMITS SHALL BE AS SHOWN ON THE DRAWINGS WITH THE FOLLOWING EXCEPTIONS:
ALL DAMAGES DONE TO THE PROPERTY OUTSIDE THE CONSTRUCTION LIMITS SHALL BE REPAIRED TO ITS ORIGINAL CONDITION PRIOR TO DAMAGE BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
3. ACCESS TO UTILITY LOCATIONS OUTSIDE THE CONSTRUCTION LIMITS ARE TO BE DETERMINED BY THE APPROPRIATE SUBCONTRACTOR.
4. CITY OF MITCHELL SHALL VERIFY ALL CITY ENGINEERING AND REQUIREMENTS.
5. EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ANY PATCHING, REPAIRING, ETC. THAT MAY OCCUR AS A RESULT OF THEIR SUBCONTRACTOR WORK.
6. ANY DISCREPANCIES IN THE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT/ENGINEER'S ATTENTION FOR CLARIFICATION.

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A7.1 DOOR & WINDOW TYPES & SCHEDULE
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BRADLEY'S PUB AND GRILLE MITCHELL, SD

Revision Schedule

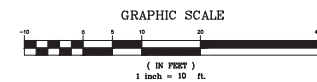
No.	Description	Date
1	Issue for Permit	06/30/2023
2	Issue for Construction	06/30/2023
3	Issue for Final	06/30/2023



Drawn By: RBH
Checked By: SW
Date: 06/30/2023

TS

Storm MH
Ben. Elev. = 1305.78
N Inv. = 1299.65 (36" RCP)
E Inv. = 1301.25 (18" RCP)
S Inv. = 1299.65 (42" RCP)
W Inv. = 1300.49 (24" RCP)



LEGAL DESCRIPTION:
LOTS 14, 15 AND THE SOUTH 10 FEET OF LOT 16,
LESS AND EXCEPT THE WEST 2 FEET THEREOF, BLOCK
11, MRS. ROWLEY'S ADDITION TO THE TOWN, NOW CITY,
OF MITCHELL, DAWSON COUNTY, SOUTH DAKOTA.

- LEGEND**
- ⊕ = EXISTING SANITARY SEWER MANHOLE
 - ⊕ = EXISTING FIRE HYDRANT
 - ⊕ = EXISTING WATER VALVE
 - ⊕ = EXISTING CURB STOP
 - ⊕ = EXISTING STORM SEWER MANHOLE
 - ⊕ = SIGN
 - ⊕ = LIGHT POLE / LIGHT
 - ⊕ = POWER POLE
 - ⊕ = EXISTING ELECTRICAL PEDESTAL
 - ⊕ = EXISTING ELECTRICAL METER
 - ⊕ = EXISTING GAS METER
 - ⊕ = EXISTING GAS VALVE
 - = EXISTING SANITARY SEWER LINE
 - = EXISTING WATER LINE
 - = EXISTING STORM SEWER LINE
 - = EXISTING FIBER OPTIC LINE
 - = EXISTING OVERHEAD ELECTRIC
 - = EXISTING UNDERGROUND ELECTRIC LINE
 - = EXISTING CONTOUR
 - = PROPERTY LINE
 - = ADJACENT PROPERTY LINE

- BENCHMARK DATA:**
- BENCHMARK #1: PK. NAIL IN SIDEWALK EAST OF
PALACE CLEANERS AND LAUNDRY
ELEV = 1305.99
- BENCHMARK #2: IRON REBAR 200' EAST OF THE W 6TH
AVENUE AND N MAIN STREET
INTERSECTION
ELEV = 1308.34
- BENCHMARK #3: IRON REBAR 140' EAST OF THE E 5TH
AVENUE AND N MAIN STREET
INTERSECTION, AND 55' WEST OF THE
MASONIC HALL
ELEV = 1308.07

Existing utilities as shown on the
drawings are located in accordance
with available data, but may vary.
Contractor shall verify all utilities
prior to construction.

COORDINATE SYSTEM:
SOUTH DAKOTA SOUTH ZONE, STATE PLANE
NORTH AMERICAN DATUM 1983 - GRID 18
GRID BEARINGS AND GROUND DISTANCES ARE
SHOWN

BLOCK 11

PUETZ
DESIGN+BUILD

SPN & ASSOCIATES
CIVIL ENGINEERS & LAND SURVEYORS

1504 JACOB D. SONNE
2100 North Main Street, P.O. Box 399
Mitchell, South Dakota 57501-0399
Phone: (605) 294-7171

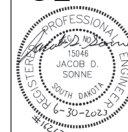
PROFESSIONAL
ENGINEER
JACOB D. SONNE
No. 6-30-2022-0242
#16242

BRADLEY'S PUB AND GRILLE
514 N MAIN ST
MITCHELL, SD
EXISTING TOPOGRAPHIC SURVEY

Revision Schedule		
No.	Description	Date

Drawn By: MED
Checked By: JDS
Date: 5/30/2023

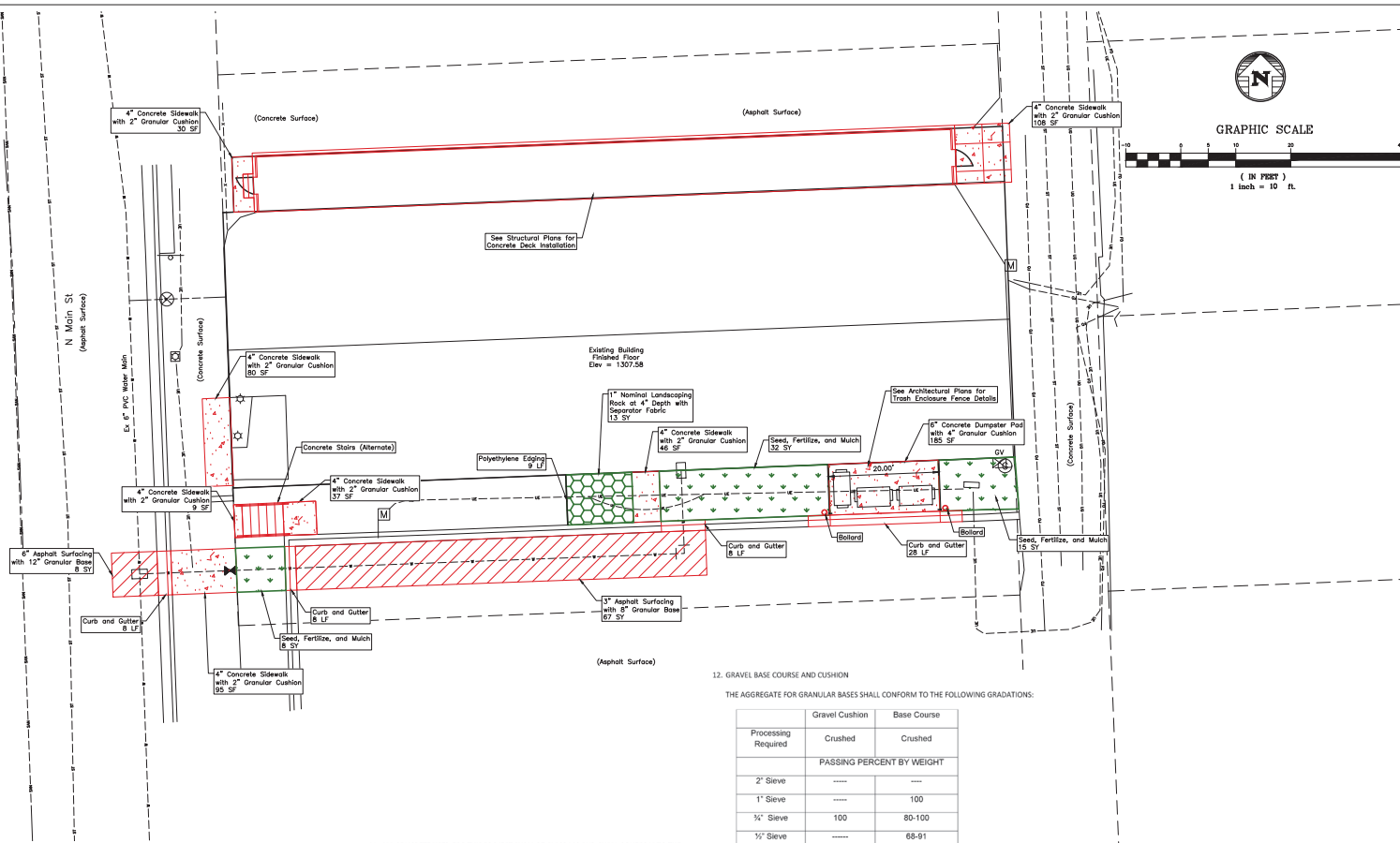
C1.0



No.	Description	Date
1	As Shown	6/30/2023

Drawn By: MEJ
Checked By: JJS
Date: 6/30/2023

C3.0



GENERAL NOTES AND SPECIFICATIONS

- UTILITY LOCATIONS SHOULD BE VERIFIED IN THE FIELD BEFORE CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT SOUTH DAKOTA ONE CALL AND ALL UTILITY COMPANIES PRIOR TO BEGINNING ANY WORK.
- THE SITE SHALL BE CLEARED AS MAY BE NOTED ON THE PLANS OF ALL OBSTRUCTIONS AND DESTRUCTIBLE MATERIAL SUCH AS FOUNDATIONS, LOGS, SHRUBS, BRUSH, WEEDS, OTHER VEGETATION AND ACCUMULATION OF RUBBISH OR WHATEVER NATURE. THIS MATERIAL SHALL BE SATISFACTORILY DISPOSED OF OFF-SITE.
- CONTRACTOR SHALL PROVIDE AND INSTALL EROSION CONTROL DEVICES (SILT FENCE OR OTHER METHODS) AT LIMITS OF CONSTRUCTION AND LOCATIONS THAT RUNOFF LEAVES THE SITE PRIOR TO CONSTRUCTION, AND SHALL MAINTAIN SAID EROSION CONTROL DEVICES DURING CONSTRUCTION, ALL IN CONFORMANCE WITH CURRENT LOCAL, COUNTY AND STATE CRITERIA.
- THE CONTRACTOR SHALL PROVIDE FOR AND MAINTAIN ALL EXISTING DRAINAGE WAYS, STORM WATERS AWAY FROM EXISTING BUILDINGS AND EXPOSED SURFACES OR PROVIDE IMMEDIATE PUMPING OF PONDED AREAS ON THE WORK SITE. NO COMPENSATION WILL BE MADE FOR DAMAGE RESULTING FROM IMPROPER DRAINAGE DURING CONSTRUCTION.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR FURNISHING ANY TRAFFIC CONTROL DEVICES TO SAFELY CONTROL TRAFFIC THROUGH OR AROUND THE PROJECT SITE. THE CONTRACTOR SHALL FURNISH AND INSTALL TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- NO CONCRETE WASHOUT OR WASHOFF SHALL BE ALLOWED ON SITE, UNLESS A WRITTEN PLAN AND PROCEDURE HAS BEEN PROVIDED FOR THE CAPTURE AND TREATMENT OF THE WASH WATER.
- ANY AND ALL AREAS THAT WILL REMAIN IDLE FOR MORE THAN 14 DAYS SHALL BE TEMPORARILY STABILIZED.
- AS SOON AS FINAL GRADING IS COMPLETED THE SITE SHALL BE STABILIZED AND FINAL SEEDING COMPLETED.
- THE CONTRACTOR SHALL COORDINATE ALL WORK WITHIN THE EXISTING STREET R.O.W. WITH THE CITY OF MITCHELL.
- MATERIALS AND DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF AT LOCATIONS OUTSIDE THE PROJECT LIMITS. THE CONTRACTOR SHALL BE REQUIRED TO LOCATE A DISPOSAL SITE AT HIS OWN EXPENSE.

- ALL CONCRETE USED FOR THIS PROJECT SHALL BE CLASS M6 AND SHALL CONFORM TO THE CONSTRUCTION REQUIREMENTS OF THE 2015 EDITION OF THE SD DOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES. ALL EXTERIOR CONCRETE SURFACES SHALL HAVE A LIGHT BROOM FINISH UNLESS OTHERWISE DIRECTED. THE 28-DAY COMPRESSIVE STRENGTH SHALL NOT BE LESS THAN 4,000 PSI.
- PERFORMED EXPANSION JOINT FILLER SHALL CONFORM TO THE REQUIREMENTS OF AASHTO M213. ALL EXPANSION JOINTS SHALL BE SEALED WITH LOW MODULUS SILICONE SEALANT CONFORMING TO THE REQUIREMENTS OF THE 2015 EDITION OF THE SD DOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES. JOINT SEALANT SHALL BE INSTALLED IN SUCH A MANNER AS TO FILL THE ENTIRE VOID WHERE IT IS BEING APPLIED. JOINT SEALANT SHALL BE FINISHED OFF TO HAVE A SMOOTH SLIGHTLY CONCAVE SURFACE. JOINT SEALANT THAT DOES NOT PROPERLY ADHERE TO THE SURROUNDING SURFACES SHALL BE REMOVED AND REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- ASPHALT CONCRETE SHALL BE CLASS "G" TYPE 1 FOR THE BASE COURSE AND TYPE 2 FOR THE SURFACE COURSE AND SHALL CONFORM TO SECTION 320 AND SECTION 321 OF THE SD STANDARD SPECIFICATIONS. ALL ASPHALT PHYSICAL CHARACTERISTICS AND QUALITY OF AGGREGATE MATERIAL USED FOR THIS PROJECT SHALL CONFORM TO CLASS G, TYPE 1 AND TYPE 2, AS SPECIFIED IN TABLE 1 OF SECTION 800 - AGGREGATE FOR ASPHALT CONCRETE IN SOUTH DAKOTA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES, 2015 EDITION OR LATEST REVISION THEREOF. ASPHALT BINDER SHALL BE PG 64-22 AND SHALL CONFORM TO SECTION 800 OF THE SD STANDARD SPECIFICATIONS. ASPHALT FOR TACK COAT SHALL BE SS-1H OR CS-3A ACCORDING TO SECTION 800 OF THE SD STANDARD SPECIFICATIONS.

12. GRAVEL BASE COURSE AND CUSHION

THE AGGREGATE FOR GRANULAR BASES SHALL CONFORM TO THE FOLLOWING GRADATIONS:

	Gravel Cushion	Base Course
Processing Required	Crushed	Crushed
PASSING PERCENT BY WEIGHT		
2" Sieve	----	----
1" Sieve	----	100
3/4" Sieve	100	80-100
1/2" Sieve	----	68-91
No. 4 Sieve	50-75	40-70
No. 8 Sieve	38-64	34-58
No. 40 Sieve	15-35	13-35
No. 200 Sieve	3-12	3-12
Liquid Limit Max	25	25
Plasticity Index	0-6	0-6
L.A. Abrasion Test Loss Maximum	40	40

THE AMOUNT OF CRUSHED PARTICLES IN THE CRUSHED ROCK SHALL CONSIST OF NOT LESS THAN 25% OF THE TOTAL WEIGHT. A CRUSHED PARTICLE SHALL BE DEFINED TO BE A FRAGMENT OF STONE SHOWING AT LEAST ONE FRESHLY FRACTURED FACE. THE CRUSHED ROCK PRODUCED FOR USE IN MAKING THE MINERAL AGGREGATE SHALL CONTAIN AT LEAST 30% BUT NOT MORE THAN 50% BY WEIGHT OF AIR-DRYED MATERIAL RETAINED ON A NO. 100 SQUARE OPENING SIEVE. THE SAMPLING AND TESTING OF THE MATERIALS SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING METHODS AND PROCEDURES:

	Test Procedure
Sampling	SD 201
Gradation	SD 202
Liquid Limit and Plasticity Index	SD 207
L.A. Abrasion Test	ASSHTO T96
Crushed Particle Test	SD 211

COMPACTION AND WATERING SHALL BE CONTINUED ON ALL AREAS OF THE BASE COURSE AND GRAVEL SURFACING MATERIAL UNTIL IT HAS BEEN COMPACTED TO 97% OF MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D698 (STANDARD PROCTOR) AT A MOISTURE CONTENT BETWEEN OPTIMUM AND 3% OVER OPTIMUM.

CONCRETE CURB AND GUTTER

- CURB AND GUTTER SHALL BE INSTALLED AT THE LOCATIONS AND ELEVATIONS SHOWN ON THE PLANS. CONTRACTION JOINTS SHALL BE CUT WITH A SAW WHILE THE CONCRETE IS STILL GREEN OR TOOLED TO A DEPTH OF AT LEAST TWO (2) INCHES AT INTERVALS NOT GREATER THAN TEN (10) FEET APART. EXPANSION JOINTS AND DOWELS SHALL BE INSTALLED AT ALL RADIUS RETURNS AND AT INTERVALS NOT GREATER THAN 150'. CURB AND GUTTER SHALL BE PLACED ON A MINIMUM OF 5" COMPACTED BASE COURSE.

CONCRETE SIDEWALK

- SIDEWALKS SHALL BE INSTALLED AT THE LOCATIONS AND AT THE ELEVATIONS SHOWN ON THE PLANS. CONTRACTION JOINT SHALL BE CONSTRUCTED SUCH THAT WHEN COMPLETED, THE PANELS FORMED BY THE JOINTING WILL BE SQUARE IN SHAPE UNLESS OTHERWISE DIRECTED BY THE PROJECT MANAGER. THE SIDEWALK SHALL BE PLACED ON A MINIMUM OF TWO (2) INCHES OF GRAVEL CUSHION.

CONCRETE SURFACING

- CONCRETE SURFACING SHALL BE INSTALLED AT THE LOCATIONS AND AT THE ELEVATIONS SHOWN ON THE PLANS. CONCRETE SURFACES SHALL BE CURED AND PROTECTED IN SUFFICIENT TIME FROM PLACEMENT (NOT LESS THAN THREE (3) DAYS). THE CONCRETE SURFACING SHALL HAVE A BROOM FINISH.
- CONTRACTION JOINTS SHALL BE PROVIDED AT THE INTERVALS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE PROJECT MANAGER. CONTRACTION JOINTS SHALL CONSIST OF A GROOVE OF AT LEAST ONE-THIRD (1/3) THE DEPTH OF THE PAVEMENT SAWED OR TOOLED IN GREEN CONCRETE. ALL EXPANSION AND CONTRACTION JOINTS SHALL BE FILLED FLUSH TO THE SURFACE WITH JOINT SEALING COMPOUND. TOOLED JOINTS WILL NOT NEED TO BE SEALED WITH JOINT SEALING COMPOUND. ALL SAWED JOINTS SHALL BE SEALED WITH A JOINT SEALING COMPOUND.

EROSION CONTROL

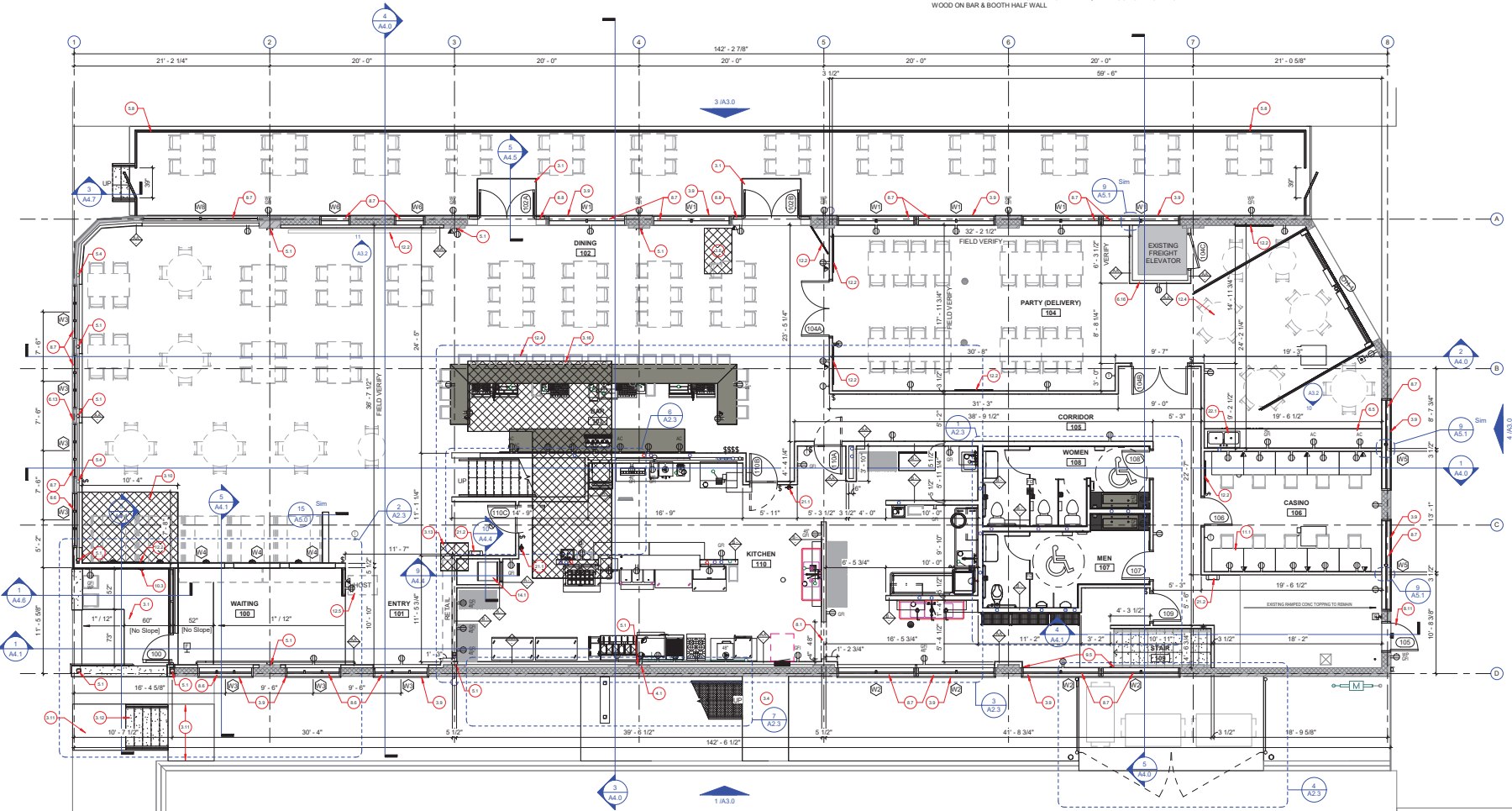
- EVIDENCE OF ANY TRACKOUT SHALL BE CLEANED IMMEDIATELY.
- ADDITIONAL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED AS NECESSARY TO PREVENT SEDIMENT AND POLLUTANTS FROM LEAVING THE SITE.
- SEEDING LIMITS SHALL BE ADJUSTED TO AREA DISTURBED BY CONTRACTOR AS NECESSARY TO COMPLETE THE WORK.

PLAN NOTES

- 3.1 CONCRETE STOOP, SEE STRUCT
- 3.4 CONCRETE SIDEWALK, SEE CIVIL
- 3.8 EXISTING MECHANICAL CHASE, APPROX. 3'X5', INFILL WITH METAL DECK & CONCRETE, SEE STRUCT
- 3.9 NEW CONCRETE WINDOW SILLS, MATCH SIZE & STYLE OF EXISTING
- 3.10 INFILL FLOOR WHERE EXISTING ENTRY RAMP WAS DEMOLISHED
- 3.11 CONCRETE SIDEWALK, SEE CIVIL, PRICE AS PART OF ADD ALTERNATE
- 3.12 CONCRETE STAIR, PRICE AS PART OF ADD ALTERNATE
- 3.13 INFILL FLOOR WHERE NEW FOOTING WAS POURED
- 3.16 INFILL FLOOR CUT FROM MECHANICAL INSTALLATION
- 4.1 ASSUMED MASONRY PLASTER (TYP AT NORTH AND SOUTH OF GRIDS 2-7), VERIFY EXACT LOCATION AFTER INTERIOR DECK & REPORT FINDINGS TO ARCHITECT
- 5.1 NEW STRUCTURAL COLUMN, SEE STRUCT
- 5.2 EXISTING STRUCTURAL COLUMN, SEE STRUCT
- 5.3 10" GUARDRAIL, SEE DETAIL ON A1
- 6.1 COUNTERTOP, PLANT, SEE COLOR & MATERIAL SCHEDULE
- 6.13 AFTER EXTERIOR FINISH DEMO, REPAIR & REPLACE SHEATHING & WOOD FRAMING AS REQD, TYP AT ALL EXTERIOR WALLS WITH WOOD FRAMING
- 6.16 WALLS SURROUNDING EXISTING FREIGHT ELEVATOR TO 10'-0" A.F.F., V.J.F. LEAVE FREIGHT ELEVATOR LIFT EXPOSED ABOVE WALLS, ADD WOOD CAP TO MATCH WOOD ON BAR & BOOTH HALF WALL

PLAN NOTES

- 8.1 48"x96" OPENING, WRAP WITH GYPSUM BOARD, FINISH WITH FRP TO MATCH OTHER KITCHEN WALLS
- 8.6 NEW WINDOW, ALUM., SEE WINDOW TYPES FOR SIZE
- 8.7 NEW WINDOW, ALUM., IN EXISTING OPENING, SEE WINDOW TYPES FOR SIZE
- 8.8 NEW STOREFRONT SYSTEM, ALUM., IN EXISTING WINDOW OPENING, SEE WINDOW TYPES FOR SIZE
- 8.11 INSTALL SALVAGED ENTRY DOOR & FRAME AT EXISTING OPENING
- 9.5 PAINT EXISTING WALL BETWEEN PLASTER AND TOP OF STAIRS WITH EPOXY PAINT PT-5, SEE COLOR & MATERIAL SCHEDULE
- 10.3 KNOX BOX
- 11.1 SLOT MACHINES, BY OWNER
- 12.2 TELEVISION, PROVIDED & INSTALLED BY OWNER, BACKING TO BE PROVIDED FOR WALL HUNG TV
- 12.4 FURNITURE, BY OWNER
- 12.5 HORSTESS STAND, BY OWNER
- 14.1 DUMBWATER ROUGH-IN BY O.C., BID EQUIPMENT AS ALTERNATE
- 21.1 FIRE EXTINGUISHER, SURFACE MOUNTED
- 21.2 FIRE EXTINGUISHER CABINET, SEMI-RECESSED
- 22.1 INSTALL DOUBLE SINK, SALVAGED FROM EXISTING BUILDING, SEE MECH



1 MAIN LEVEL FLOOR PLAN
3/16" = 1'-0"

GENERAL FLOOR PLAN NOTES

- A. INTERIOR & EXTERIOR DIMENSIONS ARE TO FACE OF STUD, U.N.O.
- B. SEE SHEET A7.1 FOR WALL TYPE LEGEND
- C. SEE SHEET A7.1 FOR DOOR SCHEDULE
- D. ALL WALL TYPES ARE TYPE 'A' UNLESS OTHERWISE NOTED

PUETZ
DESIGN+BUILD

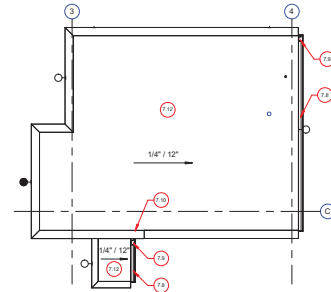


BRADLEY'S PUB AND GRILLE
514 N MAIN ST
MITCHELL, SD
MAIN LEVEL FLOOR PLAN

Revision Schedule		
No.	Description	Date
1	ADDENDUM 3	08/01/2023

Drawn By: RB/UB
Checked By: SW
Date: 06/30/2023

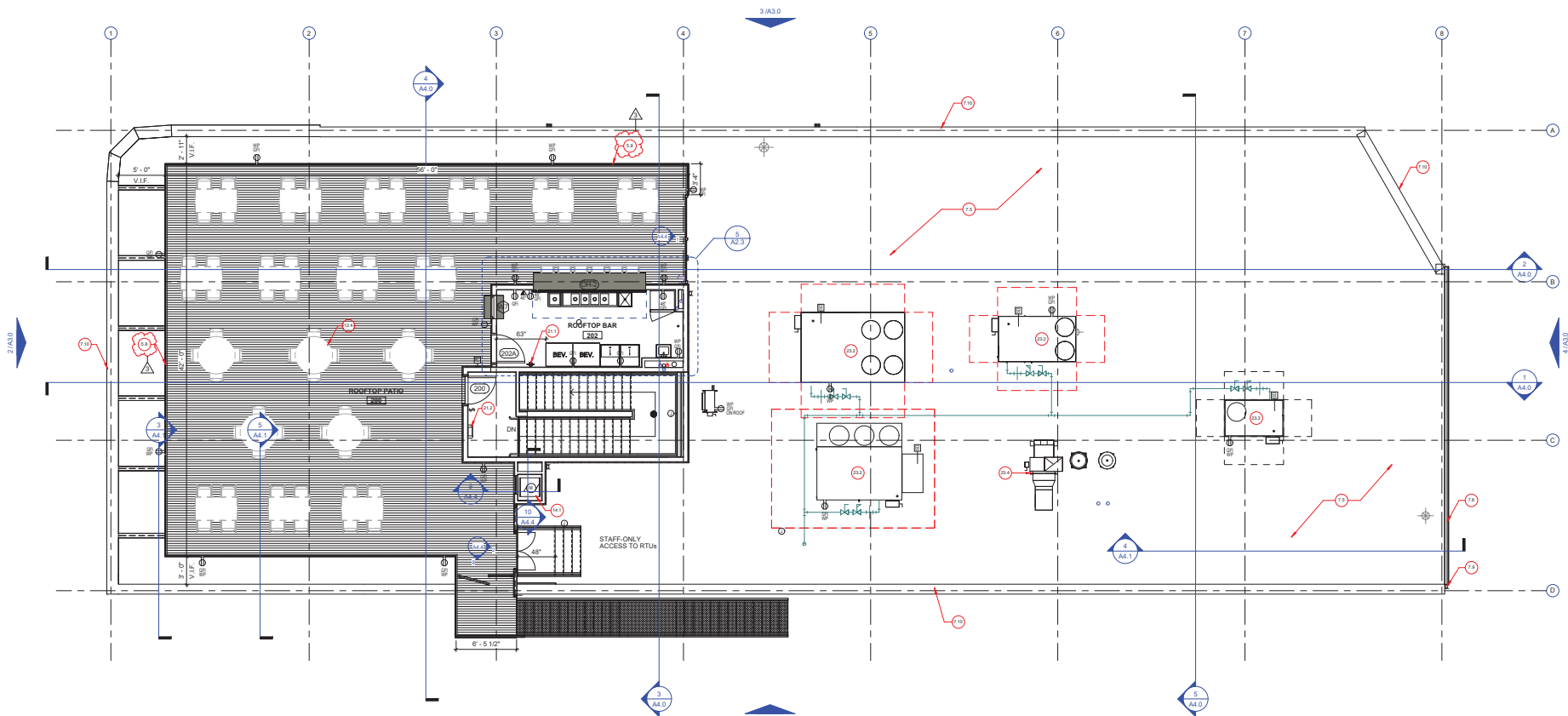
A2.1



2 ROOF PLAN - ROOFTOP BAR
3/16" = 1'-0"

PLAN NOTES

- 5.8 MTL FURNISHING, SEE DETAIL ON A1
- 7.5 NEW FULLY ADHERED 60 MIL EPDM ROOF OVER POLYISO, EPS TAPERED INSULATION, AND 2" POLY-ISO INSULATION BASE, EXISTING METAL ROOF DECK TO REMAIN, SEE STRUCT. SLOPE ROOF TO GUTTER AT EAST END
- 7.8 GUTTER, PREFIN METAL, SEAMLESS
- 7.9 DOWNSPOUT, PREFIN METAL, OPEN FACED
- 7.10 CAP FLASHING, PREFIN METAL
- 7.12 NEW FULLY ADHERED 60 MIL EPDM ROOF OVER POLYISO, EPS TAPERED INSULATION, AND 2" POLY-ISO INSULATION BASE
- 12.4 FURNITURE, BY OWNER
- 14.1 DRAINAGE ROUGH-IN BY G.C. BID EQUIPMENT AS ALTERNATE
- 21.1 FIRE EXTINGUISHER, SURFACE MOUNTED
- 21.2 FIRE EXTINGUISHER CABINET, SEM-RECESSED
- 23.2 NEW RTU, SEE MECH
- 23.4 MECHANICAL UNIT, SEE MECH



1 ROOF PLAN - ROOFTOP PATIO
3/16" = 1'-0"

GENERAL ROOF PLAN NOTES

- A. VERIFY SIZE, LOCATION, AND NUMBER OF ROOF PENETRATIONS WITH MECHANICAL & PLUMBING PLANS



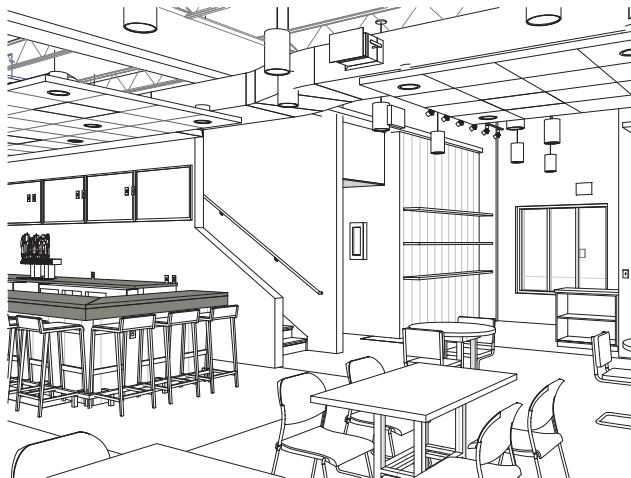
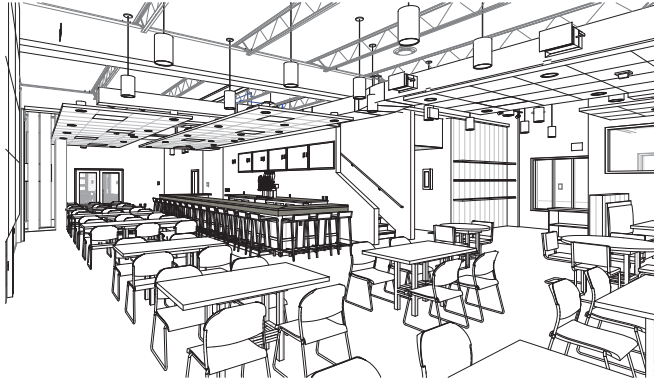
BRADLEY'S PUB AND GRILLE
514 N MAIN ST
MITCHELL, SD
ROOF PLAN

Revision Schedule		
No.	Description	Date
3	ADDENDUM 3	06/01/2023

Drawn By: RB/BB
Checked By: SW
Date: 06/30/2023

A2.2

DIGITAL USES:
CLICK HERE FOR FLOOR PLAN



PUETZ
DESIGN + BUILD



BRADLEY'S PUB AND GRILLE
514 N MAIN ST
MITCHELL, SD

VIEWS

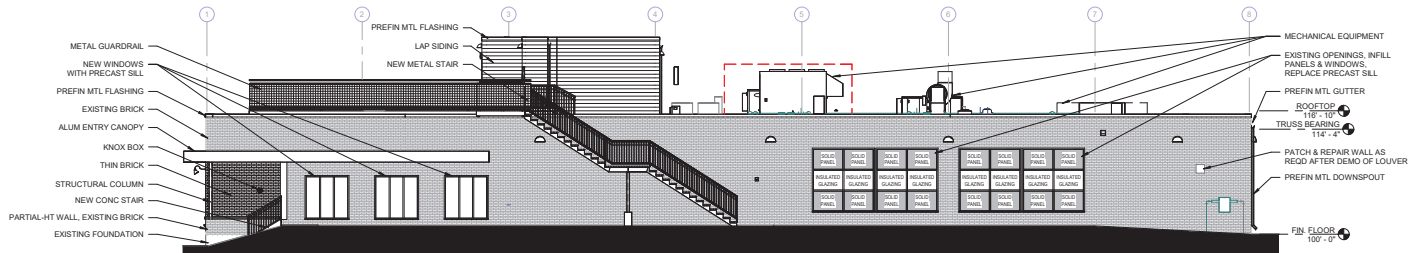
Revision Schedule
No. Description Date

Drawn By: RB/IB
Checked By: SW
Date: 06/30/2023

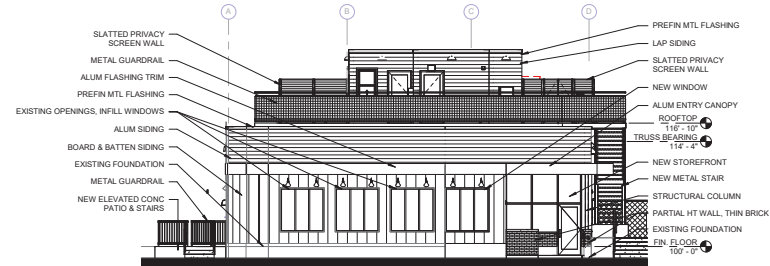
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DIGITAL USE ONLY
CLICK HERE FOR FLOOR PLAN

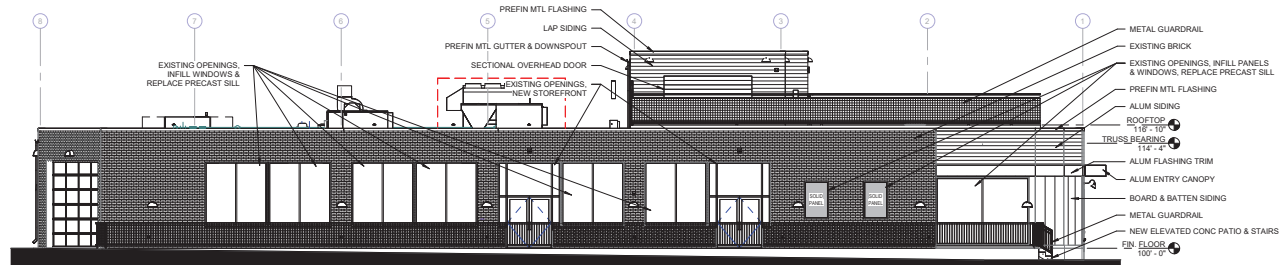
7/14/2023 3:05:49 PM | THESE DRAWINGS ARE A COPYRIGHT 2023 DOCUMENT. THESE DRAWINGS SHALL NOT BE REPRODUCED, COPIED OR USED IN ANY WAY WITHOUT THE WRITTEN PERMISSION OF PUETZ DESIGN + BUILD



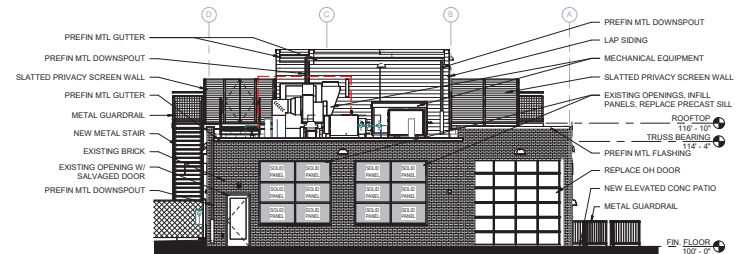
1 SOUTH ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"



3 NORTH ELEVATION
1/8" = 1'-0"



4 EAST ELEVATION
1/8" = 1'-0"

PUETZ
DESIGN + BUILD



BRADLEY'S PUB AND GRILLE
514 N MAIN ST
MITCHELL, SD
EXTERIOR ELEVATIONS

Revision Schedule
No. Description Date

Drawn By: RB/UB
Checked By: SW
Date: 06/30/2023

A3.0

DIGITAL USERS:
CLICK HERE FOR FLOOR PLAN



TO: THE MITCHELL PLANNING COMMISSION AND CITY COUNCIL, THE CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA.

The undersigned applicant(s) and owner(s) is hereby making an application pursuant to the provisions of the City of Mitchell Zoning Code.

The names and addresses of the current property owners within one hundred and forty feet (140') of the applicant's property (excluding streets and alleys) will be notified upon the filing of this application.

Applicant(s) request that dates be set for public hearings before the Mitchell Planning Commission and City Council. Furthermore, the applicant(s) request the City of Mitchell to publish the appropriate notice(s) in accordance with the City of Mitchell's Ordinances.

☒ **Rezoning** *\$150 application fee due with the application.*

Applicant is request to rezone property from HB District to UD District.

☐ **Variance** *\$100 application fee due with application.*

Description of Variance: Click or tap here to enter text.

☐ **Conditional Use Permit** *\$150 application fee due with application*

Description of Conditional Use: Click or tap here to enter text.

This Application is for the following described real property:

Legal Description: Lot 1 of R L Decker 1st Addition in the SE ¼ of Section 29, T 103 N, R 60 W of the 5th P.M., Davison County, South Dakota

Property Address: None

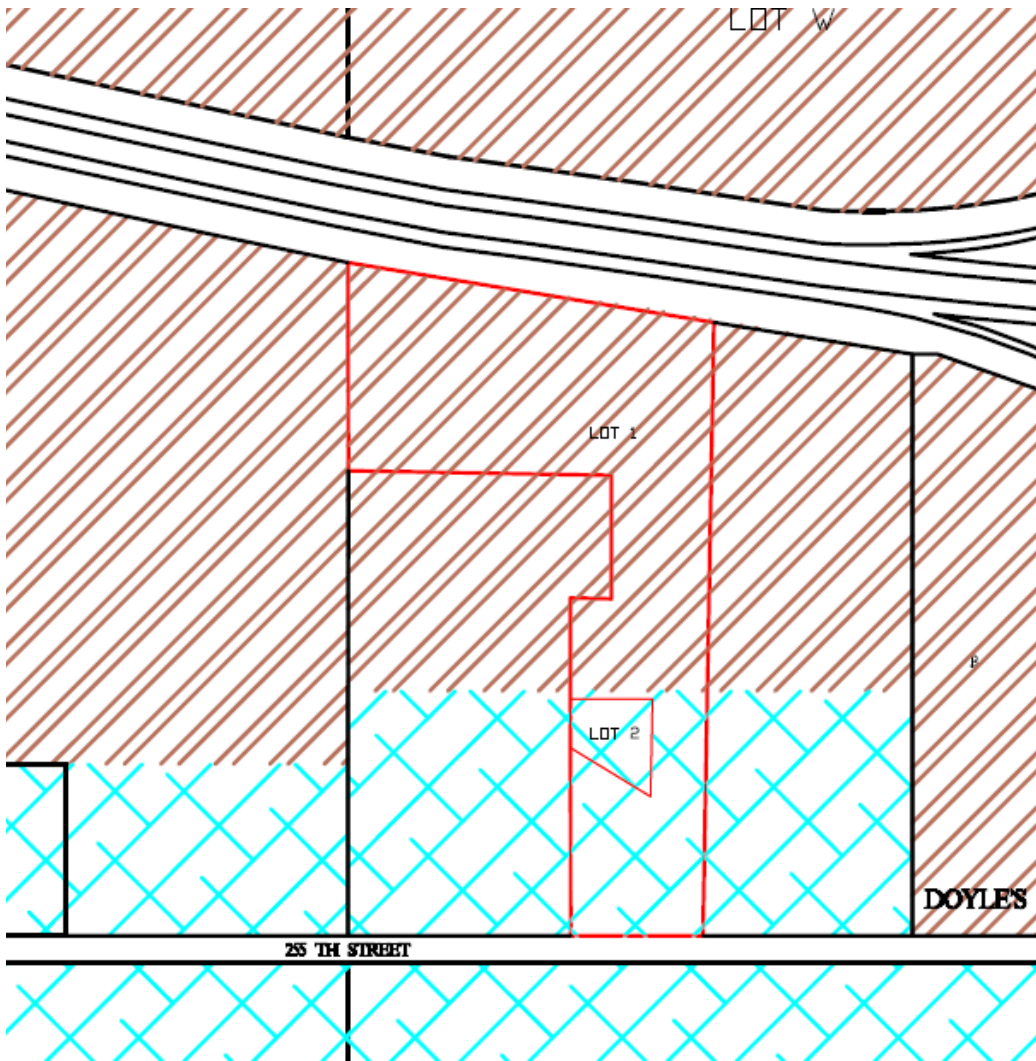
Dated this 25th of August, 2023

NJM Properties LLC
APPLICANT

A handwritten signature in black ink, appearing to read "NJM Properties LLC", is written over a horizontal line.

OWNER





NOTICE OF HEARING

TO: Mitchell City Planning Commission, City Council, and the General Public:

The City Planning Commission has scheduled a public hearing and action on the following ordinance. The Planning Commission hearing will be Monday October 23, 2023 at 12:00 p.m., the City Council will consider 1st Reading of the Ordinance on Monday, November 6, 2023 at 6:00 p.m. and 2nd Reading and Adoption on Monday, November 20, 2023 at 6:00 p.m. all meetings will be held in the Council Chambers, City Hall, 612 N Main St, Mitchell, SD. All interested parties are encouraged to attend the meetings.

ORDINANCE NO. O2023-

AN ORDINANCE OF THE CITY OF MITCHELL, THAT CHANGES THE ZONING DISTRICT CLASSIFICATION OF THE REAL PROPERTY LEGALLY DESCRIBED AS; Lot 1 of R L Decker 1st Addition in the SE ¼ of Section 29, T 103 N, R 60 W of the 5th P.M., Davison County, South Dakota; be changed from HB Highway Business District to UD Urban Development District AND THE OFFICIAL ZONING MAP BE CHANGED TO REFLECT THE SAME.

BE IT ORDAINED BY THE CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA:

Section 1: THE ZONING DISTRICT CLASSIFICATION OF THE REAL PROPERTY LEGALLY DESCRIBED AS, Lot 1 of R L Decker 1st Addition in the SE ¼ of Section 29, T 103 N, R 60 W of the 5th P.M., Davison County, South Dakota; be changed from HB Highway Business District to UD Urban Development District AND THE OFFICIAL ZONING MAP BE CHANGED TO REFLECT THE SAME.

Section 2. The City Finance Officer shall publish notice of this ordinance and the same shall be effective 20 days after the completed publication thereof, unless the referendum shall be invoked as provided by law.

Passed and approved this the ____ day of _____, 2023.

MAYOR

ATTEST:

FINANCE OFFICER

{SEAL}

FIRST READING: November 6, 2023

SECOND READING: November 20, 2023
ADOPTION: November 20, 2023

Published three times: October 11 and 25, 2023 and November 8, 2023.
Approximate Costs:

NJM Properties LLC
25462 Cornerstone Ave
Mitchell, SD 57301

James & Julie Thue
25445 407th Ave
Mitchell, SD 57301

Steven & Lynette Shattuck
422 W 5th Ave
Mitchell, SD 57301

Merl & Diane Bechen
2520 W Spruce St
Mitchell, SD 57301

Canice Cross
2424 W Spruce St
Mitchell, SD 57301

Thomas & Shirley Flint
2440 W Spruce St
Mitchell, SD 57301

Shawn & Lana Hart
PO Box 905
Mitchell, SD 57301

Christopher & Aimee Nebelsick
25830 408th Ave
Mitchell, SD 57301

September 13, 2023

TO WHOM IT MAY CONCERN:

YOU ARE HEREBY NOTIFIED that NJM Properties LLC is requesting the following property legally described as; Lot 1 of R L Decker 1st Addition in the SE ¼ of Section 29, T 103 N, R 60 W of the 5th P.M., Davison County, South Dakota; be changed from HB Highway Business District to UD Urban Development District AND THE OFFICIAL ZONING MAP BE CHANGED TO REFLECT THE SAME (land abutting 2400 and 2424 W Spruce owned by NJM Properties LLC).

YOU ARE FURTHER NOTIFIED that the City Planning Commission will be conducting a hearing on this application on Monday September 25, 2023 at 12:00 p.m., the City Council will consider 1st Reading of the Ordinance on Monday, October 2, 2023 at 6:00 p.m. and 2nd Reading and Adoption on Monday, October 16, 2023 at 6:00p.m. all meetings will be held in the Council Chambers, City Hall, 612 N Main St, Mitchell, SD. All interested parties are encouraged to attend the meetings.

All interested parties may be present and be heard on said request, either in person or by agent. Please submit written comments by 5:00 P.M. the Friday prior to the meeting, in the City of Mitchell Public Works Office or Finance Office.

I/We Merl Reche
OWNER

2520 West Spruce
ADDRESS

X APPROVE

X DISAPPROVE

} Need More information

COMMENTS: Would like to know the reason for the Zoning change. Also what we can expect for drainage on the land.



October 12, 2023

TO WHOM IT MAY CONCERN:

YOU ARE HEREBY NOTIFIED that NJM Properties LLC is requesting the following property legally described as; Lot 1 of R L Decker 1st Addition in the SE ¼ of Section 29, T 103 N, R 60 W of the 5th P.M., Davison County, South Dakota; be changed from HB Highway Business District to UD Urban Development District AND THE OFFICIAL ZONING MAP BE CHANGED TO REFLECT THE SAME (land abutting 2400 and 2424 W Spruce owned by NJM Properties LLC).

YOU ARE FURTHER NOTIFIED that the City Planning Commission will be conducting a hearing on this application on Monday October 23, 2023 at 12:00 p.m., the City Council will consider 1st Reading of the Ordinance on Monday, November 6, 2023 at 6:00 p.m. and 2nd Reading and Adoption on Monday, November 20, 2023 at 6:00p.m. all meetings will be held in the Council Chambers, City Hall, 612 N Main St, Mitchell, SD. All interested parties are encouraged to attend the meetings.

All interested parties may be present and be heard on said request, either in person or by agent. Please submit written comments by 5:00 P.M. the Friday prior to the meeting, in the City of Mitchell Public Works Office or Finance Office.

I/We NJM Properties LLC
OWNER

2400 W Spruce
Mailing: 25462 Cornerstone Ave Mitchell
ADDRESS

X APPROVE

 DISAPPROVE

COMMENTS:



TO: THE MITCHELL PLANNING COMMISSION AND CITY COUNCIL, THE CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA.

The undersigned applicant(s) and owner(s) is hereby making an application pursuant to the provisions of the City of Mitchell Zoning Code.

The names and addresses of the current property owners within one hundred and forty feet (140') of the applicant's property (excluding streets and alleys) will be notified upon the filing of this application.

Applicant(s) request that dates be set for public hearings before the Mitchell Planning Commission and City Council. Furthermore, the applicant(s) request the City of Mitchell to publish the appropriate notice(s) in accordance with the City of Mitchell's Ordinances.

☒ **Rezoning** *\$150 application due with the application.*

Applicant is request to rezone property from UD District to Lot S, Maui Farms Second Addition Planned Development District.

☐ **Variance** *\$100 application fee due with application.*

Description of Variance: [Click or tap here to enter text.](#)

☐ **Conditional Use Permit** *\$150 application fee due with application*

Description of Conditional Use: [Click or tap here to enter text.](#)

This Application is for the following described real property:

Legal Description: Plat of Blocks 1 and 2 of Maui Farms Second Addition and a portion of Sam Street, a subdivision of previously platted lot 4 in the East 1/2 of the West 1/2 of Section 31, T 104 N, R 60 W of the 5th P.M., Davison County, South Dakota

Property Address: None

Dated this 20th of September, 2023

Chuck Mauszycki Sr
APPLICANT

Maui Farms Inc
OWNER



NOTICE OF HEARING

TO: Mitchell City Planning Commission, City Council, and the General Public:

The City Planning Commission has scheduled a public hearing and action on the following ordinance. The Planning Commission hearing will be Monday October 23, 2023 at 12:00 p.m., the City Council will consider 1st Reading of the Ordinance on Monday, November 6, 2023 at 6:00 p.m. and 2nd Reading and Adoption on Monday, November 20, 2023 at 6:00 p.m. all meetings will be held in the Council Chambers, City Hall, 612 N Main St, Mitchell, SD. All interested parties are encouraged to attend the meetings.

ORDINANCE NO. O2023-

AN ORDINANCE OF THE CITY OF MITCHELL, THAT CHANGES THE ZONING DISTRICT CLASSIFICATION OF THE REAL PROPERTY LEGALLY DESCRIBED AS; Blocks 1 and 2 of Maui Farms Second Addition and a portion of Sam Street, a subdivision of previously platted lot 4 in the East 1/2 of the West 1/2 of Section 31, T 104 N, R 60 W of the 5th P.M., Davison County, South Dakota; be changed from UD Urban Development District to Lot S, Maui Farms Second Addition Planned Development District AND THE OFFICIAL ZONING MAP BE CHANGED TO REFLECT THE SAME.

BE IT ORDAINED BY THE CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA:

Section 1: THE ZONING DISTRICT CLASSIFICATION OF THE REAL PROPERTY LEGALLY DESCRIBED AS; Blocks 1 and 2 of Maui Farms Second Addition and a portion of Sam Street, a subdivision of previously platted lot 4 in the East 1/2 of the West 1/2 of Section 31, T 104 N, R 60 W of the 5th P.M., Davison County, South Dakota; be changed from UD Urban Development District to Lot S, Maui Farms Second Addition Planned Development District AND THE OFFICIAL ZONING MAP BE CHANGED TO REFLECT THE SAME.

Section 2. The City Finance Officer shall publish notice of this ordinance and the same shall be effective 20 days after the completed publication thereof, unless the referendum shall be invoked as provided by law.

Passed and approved this the ____ day of _____, 2023.

MAYOR

ATTEST:

FINANCE OFFICER

{SEAL}

FIRST READING: November 6, 2023

SECOND READING: November 20, 2023
ADOPTION: November 20, 2023

Published three times: October 11 and 25, 2023 and November 8, 2023.
Approximate Costs:

Maui Farms Inc
3240 Maui Dr
Mitchell, SD 57301

Thomas & Harriett Starr
24936 406th Ave
Mitchell, SD 57301

Jarret Smith
Danielle Hoffman
3321 Maui Dr
Mitchell, SD 57301

Schmit Ag Inc
41345 235th St
Artesian, SD 57314

Tim & Gina Hawkins
2925 Dailey Dr
Mitchell, SD 57301

Brian & Colleen Hunt
3208 Maui Dr
Mitchell, SD 57301

Luke & Natalie Mushitz
730 N Harmon Dr
Mitchell, SD 57301

Jayson & Jaclyn Plamp
3001 Maui Dr
Mitchell, SD 57301

City of Mitchell
612 N Main St
Mitchell, SD 57301

October 12, 2023

TO WHOM IT MAY CONCERN:

YOU ARE HEREBY NOTIFIED that Maui Farms Inc is requesting the following property legally described as; Blocks 1 and 2 of Maui Farms Second Addition and a portion of Sam Street, a subdivision of previously platted lot 4 in the East 1/2 of the West 1/2 of Section 31, T 104 N, R 60 W of the 5th P.M., Davison County, South Dakota; be changed from UD Urban Development District to Lot S, Maui Farms Second Addition Planned Development District AND THE OFFICIAL ZONING MAP BE CHANGED TO REFLECT THE SAME (land abutting to the northwest of 5829 Sam St).

YOU ARE FURTHER NOTIFIED that the City Planning Commission will be conducting a hearing on this application on Monday October 23, 2023 at 12:00 p.m., the City Council will consider 1st Reading of the Ordinance on Monday, November 6, 2023 at 6:00 p.m. and 2nd Reading and Adoption on Monday, November 20, 2023 at 6:00p.m. all meetings will be held in the Council Chambers, City Hall, 612 N Main St, Mitchell, SD. All interested parties are encouraged to attend the meetings.

All interested parties may be present and be heard on said request, either in person or by agent. Please submit written comments by 5:00 P.M. the Friday prior to the meeting, in the City of Mitchell Public Works Office or Finance Office.

I/We

Maui Farms Inc Alpha Pres
OWNER

3240 Maui Dr

ADDRESS

X

APPROVE

DISAPPROVE

COMMENTS:



TO: THE MITCHELL PLANNING COMMISSION AND CITY COUNCIL, THE CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA.

The undersigned applicant(s) and owner(s) is hereby making an application pursuant to the provisions of the City of Mitchell Zoning Code.

The names and addresses of the current property owners within one hundred and forty feet (140') of the applicant's property (excluding streets and alleys) will be notified upon the filing of this application.

Applicant(s) request that dates be set for public hearings before the Mitchell Planning Commission and City Council. Furthermore, the applicant(s) request the City of Mitchell to publish the appropriate notice(s) in accordance with the City of Mitchell's Ordinances.

☒ **Rezoning** *\$150 application due with the application.*

Applicant is request to rezone property from 10-9D-1 Legal Description-Lot S, Maui Farms Second Addition, A Subdivision of the Southeast Quarter (SE $\frac{1}{4}$), Section 31, and Previously Platted Lot 4 in the East $\frac{1}{2}$ of the West $\frac{1}{2}$ of Section 31, Township 104 North, Range 60 W of the 5th P.M., Portions of which lie within the city limits of Mitchell, Davison County, South Dakota District to 10-D-1 Legal Description Lot S, Maui Farms Second Addition, A Subdivision of the Southeast Quarter (SE $\frac{1}{4}$), Section 31, and Previously Platted Lot 4 in the East $\frac{1}{2}$ of the West $\frac{1}{2}$ of Section 31, Township 104 North, Range 60 W of the 5th P.M., Portions of which lie within the city limits of Mitchell, Davison County, South Dakota and Blocks 1 and 2 of Maui Farms Second Addition and a portion of Sam Street, a subdivision of previously platted lot 4 in the East $\frac{1}{2}$ of the West $\frac{1}{2}$ of Section 31, T 104 N, R 60 W of the 5th P.M., Davison County, South Dakota District.

☐ **Variance** *\$100 application fee due with application.*

Description of Variance: [Click or tap here to enter text.](#)

☐ **Conditional Use Permit** *\$150 application fee due with application*

Description of Conditional Use: [Click or tap here to enter text.](#)

This Application is for the following described real property:

Legal Description: Lot S, Maui Farms Second Addition, A Subdivision of the Southeast Quarter (SE $\frac{1}{4}$), Section 31, and Previously Platted Lot 4 in the East $\frac{1}{2}$ of the West $\frac{1}{2}$ of Section 31, Township 104 North, Range 60 W of the 5th P.M., Portions of which lie within the city limits of Mitchell, Davison County, South Dakota and Blocks 1 and 2 of Maui Farms Second Addition and a portion of Sam Street, a subdivision of previously platted lot 4 in the East $\frac{1}{2}$ of the West $\frac{1}{2}$ of Section 31, T 104 N, R 60 W of the 5th P.M., Davison County, South Dakota.

Property Address: Multiple

Dated this 20th of September, 2023

Chuck Mauszycki Sr
APPLICANT

Maui Farms Inc
OWNER



NOTICE OF HEARING

TO: The City of Mitchell Planning Commission, City Council of the City of Mitchell, and the General Public.

You are hereby notified that the following proposed ordinance will be heard and considered by the City Planning Commission on Monday, October 23, 2023 at 12:00 pm (Noon) and the City Council will consider first reading of the proposed ordinance on Monday, November 6, 2023 at 6:00 pm and consider second reading and final adoption on Monday, November 20, 2023 at 6:00 pm. All meetings will be held in the Council Chambers, City Hall, 612 N Main St, Mitchell, South Dakota. All interested parties may attend the hearings and provide testimony.

ORDINANCE O2023-

An Ordinance amending 10-9D-1 Legal Description, Lot S, Maui Farms Second Addition Planned Development District, Title 10 Zoning Regulations, City of Mitchell Municipal Code

NOW BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA:

Section 1.

That 10-9D-1: Legal Description, be amended by changing “Lot S, Maui Farms Second Addition, A Subdivision of the Southeast Quarter (SE $\frac{1}{4}$), Section 31, and Previously Platted Lot 4 in the East $\frac{1}{2}$ of the West $\frac{1}{2}$ of Section 31, Township 104 North, Range 60 W of the 5th P.M., Portions of which lie within the city limits of Mitchell, Davison County, South Dakota.” to “Lot S, Maui Farms Second Addition, A Subdivision of the Southeast Quarter (SE $\frac{1}{4}$), Section 31, and Previously Platted Lot 4 in the East $\frac{1}{2}$ of the West $\frac{1}{2}$ of Section 31, Township 104 North, Range 60 W of the 5th P.M., Portions of which lie within the city limits of Mitchell, Davison County, South Dakota and Blocks 1 and 2 of Maui Farms Second Addition and a portion of Sam Street, a subdivision of previously platted lot 4 in the East $\frac{1}{2}$ of the West $\frac{1}{2}$ of Section 31, T 104 N, R 60 W of the 5th P.M., Davison County, South Dakota”: so to be read as follows:

10-9D-1: LEGAL DESCRIPTION:

Lot S, Maui Farms Second Addition, A Subdivision of the Southeast Quarter (SE $\frac{1}{4}$), Section 31, and Previously Platted Lot 4 in the East $\frac{1}{2}$ of the West $\frac{1}{2}$ of Section 31, Township 104 North, Range 60 W of the 5th P.M., Portions of which lie within the city limits of Mitchell, Davison County, South Dakota and Blocks 1 and 2 of Maui Farms Second Addition and a portion of Sam Street, a subdivision of previously platted lot 4 in the East $\frac{1}{2}$ of the West $\frac{1}{2}$ of Section 31, T 104 N, R 60 W of the 5th P.M., Davison County, South Dakota.

Section 2.

The City Finance Officer shall cause notice of adoption of this ordinance to be published in the official newspaper and twenty (20) days after the completed publication, unless the referendum is invoked, this ordinance shall become effective.

Adopted by majority vote of the Mitchell SD City Council in regular session this ____ day of _____, 2023.

MAYOR

ATTEST:

FINANCE OFFICER

{SEAL}

FIRST READING: November 6, 2023

SECOND READING: November 20, 2023

ADOPTION: November 20, 2023

Published three times: October 11 and 25, 2023 and November 8, 2023.

Approximate Costs:

Maui Farms Inc
3240 Maui Dr
Mitchell, SD 57301

Chuck & Priscilla Stevenson
114 S Harmon Dr
Mitchell, SD 57301

Jarret Smith
Danielle Hoffman
3321 Maui Dr
Mitchell, SD 57301

Schmit Ag Inc
41345 235th St
Artesian, SD 57314

Tim & Gina Hawkins
2925 Dailey Dr
Mitchell, SD 57301

Brian & Colleen Hunt
3208 Maui Dr
Mitchell, SD 57301

Luke & Natalie Mushitz
730 N Harmon Dr
Mitchell, SD 57301

Jayson & Jaclyn Plamp
3001 Maui Dr
Mitchell, SD 57301

Richard Rozum
Kevin Johnson
3332 Canal Cr
Mitchell, SD 57301

Todd & Heidi Kludt
3000 Maui Dr
Mitchell, SD 57301

James & Joyce Stewart
181 S Harmon Dr
Mitchell, SD 57301

Kevin Kouf
1306 Roland Ln
Mitchell, SD 57301

Linda & Gary Endorf
57 S Harmon Dr
Mitchell, SD 57301

Randy & Ardis Oldenkamp
94 N Harmon Dr
Mitchell, SD 57301

Justin & Megan Luther
111 S Harmon Dr
Mitchell, SD 57301

Craig & Susan Bennett
3109 Maui Dr
Mitchell, SD 57301

Rick Snedeker
Patricia Aylward
3340 Canal Cr
Mitchell, SD 57301

Stephen Peschong
5601 Island Ct
Mitchell, SD 57301

Robert & Bonita Martin
5600 Island Ct
Mitchell, SD 57301

Brian & Kathy Raecke
2901 Dailey Dr
Mitchell, SD 57301

October 12, 2023

TO WHOM IT MAY CONCERN:

YOU ARE HEREBY NOTIFIED that Maui Farms Inc is requesting to amend Lot S, Maui Farms Second Addition Planned Development District by changing 10-9D-1 Legal Description from “Lot S, Maui Farms Second Addition, A Subdivision of the Southeast Quarter (SE $\frac{1}{4}$), Section 31, and Previously Platted Lot 4 in the East $\frac{1}{2}$ of the West $\frac{1}{2}$ of Section 31, Township 104 North, Range 60 W of the 5th P.M., Portions of which lie within the city limits of Mitchell, Davison County, South Dakota.” to “Lot S, Maui Farms Second Addition, A Subdivision of the Southeast Quarter (SE $\frac{1}{4}$), Section 31, and Previously Platted Lot 4 in the East $\frac{1}{2}$ of the West $\frac{1}{2}$ of Section 31, Township 104 North, Range 60 W of the 5th P.M., Portions of which lie within the city limits of Mitchell, Davison County, South Dakota and Blocks 1 and 2 of Maui Farms Second Addition and a portion of Sam Street, a subdivision of previously platted lot 4 in the East $\frac{1}{2}$ of the West $\frac{1}{2}$ of Section 31, T 104 N, R 60 W of the 5th P.M., Davison County, South Dakota.

YOU ARE FURTHER NOTIFIED that the City Planning Commission will be conducting a hearing on this application on Monday, October 23, 2023 at 12:00 pm (Noon) and the City Council will consider first reading of the proposed ordinance on Monday, November 6, 2023 at 6:00 pm and consider second reading and final adoption on Monday, November 20, 2023 at 6:00 pm. All meetings will be held in the Council Chambers, City Hall, 612 N Main St, Mitchell, South Dakota. All interested parties may attend the hearings and provide testimony.

All interested parties may be present and be heard on said request, either in person or by agent. Please submit written comments by 5:00 P.M. the Friday prior to the meeting, in the City of Mitchell Public Works Office or Finance Office.

I/We

Maui Farms Inc Owner Pres

OWNER

3240 Maui Dr

ADDRESS

X

APPROVE

DISAPPROVE

COMMENTS:



October 12, 2023

TO WHOM IT MAY CONCERN:

YOU ARE HEREBY NOTIFIED that Maui Farms Inc is requesting to amend Lot S, Maui Farms Second Addition Planned Development District by changing 10-9D-1 Legal Description from “Lot S, Maui Farms Second Addition, A Subdivision of the Southeast Quarter (SE $\frac{1}{4}$), Section 31, and Previously Platted Lot 4 in the East $\frac{1}{2}$ of the West $\frac{1}{2}$ of Section 31, Township 104 North, Range 60 W of the 5th P.M., Portions of which lie within the city limits of Mitchell, Davison County, South Dakota.” to “Lot S, Maui Farms Second Addition, A Subdivision of the Southeast Quarter (SE $\frac{1}{4}$), Section 31, and Previously Platted Lot 4 in the East $\frac{1}{2}$ of the West $\frac{1}{2}$ of Section 31, Township 104 North, Range 60 W of the 5th P.M., Portions of which lie within the city limits of Mitchell, Davison County, South Dakota and Blocks 1 and 2 of Maui Farms Second Addition and a portion of Sam Street, a subdivision of previously platted lot 4 in the East $\frac{1}{2}$ of the West $\frac{1}{2}$ of Section 31, T 104 N, R 60 W of the 5th P.M., Davison County, South Dakota.

YOU ARE FURTHER NOTIFIED that the City Planning Commission will be conducting a hearing on this application on Monday, October 23, 2023 at 12:00 pm (Noon) and the City Council will consider first reading of the proposed ordinance on Monday, November 6, 2023 at 6:00 pm and consider second reading and final adoption on Monday, November 20, 2023 at 6:00 pm. All meetings will be held in the Council Chambers, City Hall, 612 N Main St, Mitchell, South Dakota. All interested parties may attend the hearings and provide testimony.

All interested parties may be present and be heard on said request, either in person or by agent. Please submit written comments by 5:00 P.M. the Friday prior to the meeting, in the City of Mitchell Public Works Office or Finance Office.

I/We RICHARD RORUM
OWNER

5815 SAM STREET / 3332 CANAL CIRCLE

ADDRESS

☒ APPROVE

☐ DISAPPROVE

COMMENTS:

October 12, 2023

TO WHOM IT MAY CONCERN:

YOU ARE HEREBY NOTIFIED that Maui Farms Inc is requesting to amend Lot S, Maui Farms Second Addition Planned Development District by changing 10-9D-1 Legal Description from “Lot S, Maui Farms Second Addition, A Subdivision of the Southeast Quarter (SE $\frac{1}{4}$), Section 31, and Previously Platted Lot 4 in the East $\frac{1}{2}$ of the West $\frac{1}{2}$ of Section 31, Township 104 North, Range 60 W of the 5th P.M., Portions of which lie within the city limits of Mitchell, Davison County, South Dakota.” to “Lot S, Maui Farms Second Addition, A Subdivision of the Southeast Quarter (SE $\frac{1}{4}$), Section 31, and Previously Platted Lot 4 in the East $\frac{1}{2}$ of the West $\frac{1}{2}$ of Section 31, Township 104 North, Range 60 W of the 5th P.M., Portions of which lie within the city limits of Mitchell, Davison County, South Dakota and Blocks 1 and 2 of Maui Farms Second Addition and a portion of Sam Street, a subdivision of previously platted lot 4 in the East $\frac{1}{2}$ of the West $\frac{1}{2}$ of Section 31, T 104 N, R 60 W of the 5th P.M., Davison County, South Dakota.

YOU ARE FURTHER NOTIFIED that the City Planning Commission will be conducting a hearing on this application on Monday, October 23, 2023 at 12:00 pm (Noon) and the City Council will consider first reading of the proposed ordinance on Monday, November 6, 2023 at 6:00 pm and consider second reading and final adoption on Monday, November 20, 2023 at 6:00 pm. All meetings will be held in the Council Chambers, City Hall, 612 N Main St, Mitchell, South Dakota. All interested parties may attend the hearings and provide testimony.

All interested parties may be present and be heard on said request, either in person or by agent. Please submit written comments by 5:00 P.M. the Friday prior to the meeting, in the City of Mitchell Public Works Office or Finance Office.

I/We

Rick Snedeker [Signature]
OWNER

3340 Canal Cir. Mitchell, SD 57301

ADDRESS

☒

APPROVE

☐

DISAPPROVE

COMMENTS:

October 12, 2023

TO WHOM IT MAY CONCERN:

YOU ARE HEREBY NOTIFIED that Maui Farms Inc is requesting to amend Lot S, Maui Farms Second Addition Planned Development District by changing 10-9D-1 Legal Description from “Lot S, Maui Farms Second Addition, A Subdivision of the Southeast Quarter (SE $\frac{1}{4}$), Section 31, and Previously Platted Lot 4 in the East $\frac{1}{2}$ of the West $\frac{1}{2}$ of Section 31, Township 104 North, Range 60 W of the 5th P.M., Portions of which lie within the city limits of Mitchell, Davison County, South Dakota.” to “Lot S, Maui Farms Second Addition, A Subdivision of the Southeast Quarter (SE $\frac{1}{4}$), Section 31, and Previously Platted Lot 4 in the East $\frac{1}{2}$ of the West $\frac{1}{2}$ of Section 31, Township 104 North, Range 60 W of the 5th P.M., Portions of which lie within the city limits of Mitchell, Davison County, South Dakota and Blocks 1 and 2 of Maui Farms Second Addition and a portion of Sam Street, a subdivision of previously platted lot 4 in the East $\frac{1}{2}$ of the West $\frac{1}{2}$ of Section 31, T 104 N, R 60 W of the 5th P.M., Davison County, South Dakota.

YOU ARE FURTHER NOTIFIED that the City Planning Commission will be conducting a hearing on this application on Monday, October 23, 2023 at 12:00 pm (Noon) and the City Council will consider first reading of the proposed ordinance on Monday, November 6, 2023 at 6:00 pm and consider second reading and final adoption on Monday, November 20, 2023 at 6:00 pm. All meetings will be held in the Council Chambers, City Hall, 612 N Main St, Mitchell, South Dakota. All interested parties may attend the hearings and provide testimony.

All interested parties may be present and be heard on said request, either in person or by agent. Please submit written comments by 5:00 P.M. the Friday prior to the meeting, in the City of Mitchell Public Works Office or Finance Office.

I/We

Todd & Heidi Kludt
OWNER

3000 Maui Dr. Mitchell SD
ADDRESS

+ 5811 Sam St.

X APPROVE

____ DISAPPROVE

COMMENTS:



October 12, 2023

TO WHOM IT MAY CONCERN:

YOU ARE HEREBY NOTIFIED that Maui Farms Inc is requesting to amend Lot S, Maui Farms Second Addition Planned Development District by changing 10-9D-1 Legal Description from “Lot S, Maui Farms Second Addition, A Subdivision of the Southeast Quarter (SE $\frac{1}{4}$), Section 31, and Previously Platted Lot 4 in the East $\frac{1}{2}$ of the West $\frac{1}{2}$ of Section 31, Township 104 North, Range 60 W of the 5th P.M., Portions of which lie within the city limits of Mitchell, Davison County, South Dakota.” to “Lot S, Maui Farms Second Addition, A Subdivision of the Southeast Quarter (SE $\frac{1}{4}$), Section 31, and Previously Platted Lot 4 in the East $\frac{1}{2}$ of the West $\frac{1}{2}$ of Section 31, Township 104 North, Range 60 W of the 5th P.M., Portions of which lie within the city limits of Mitchell, Davison County, South Dakota and Blocks 1 and 2 of Maui Farms Second Addition and a portion of Sam Street, a subdivision of previously platted lot 4 in the East $\frac{1}{2}$ of the West $\frac{1}{2}$ of Section 31, T 104 N, R 60 W of the 5th P.M., Davison County, South Dakota.

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I/We

Kathy Dufrenoy
OWNER

5803 Sam St

ADDRESS

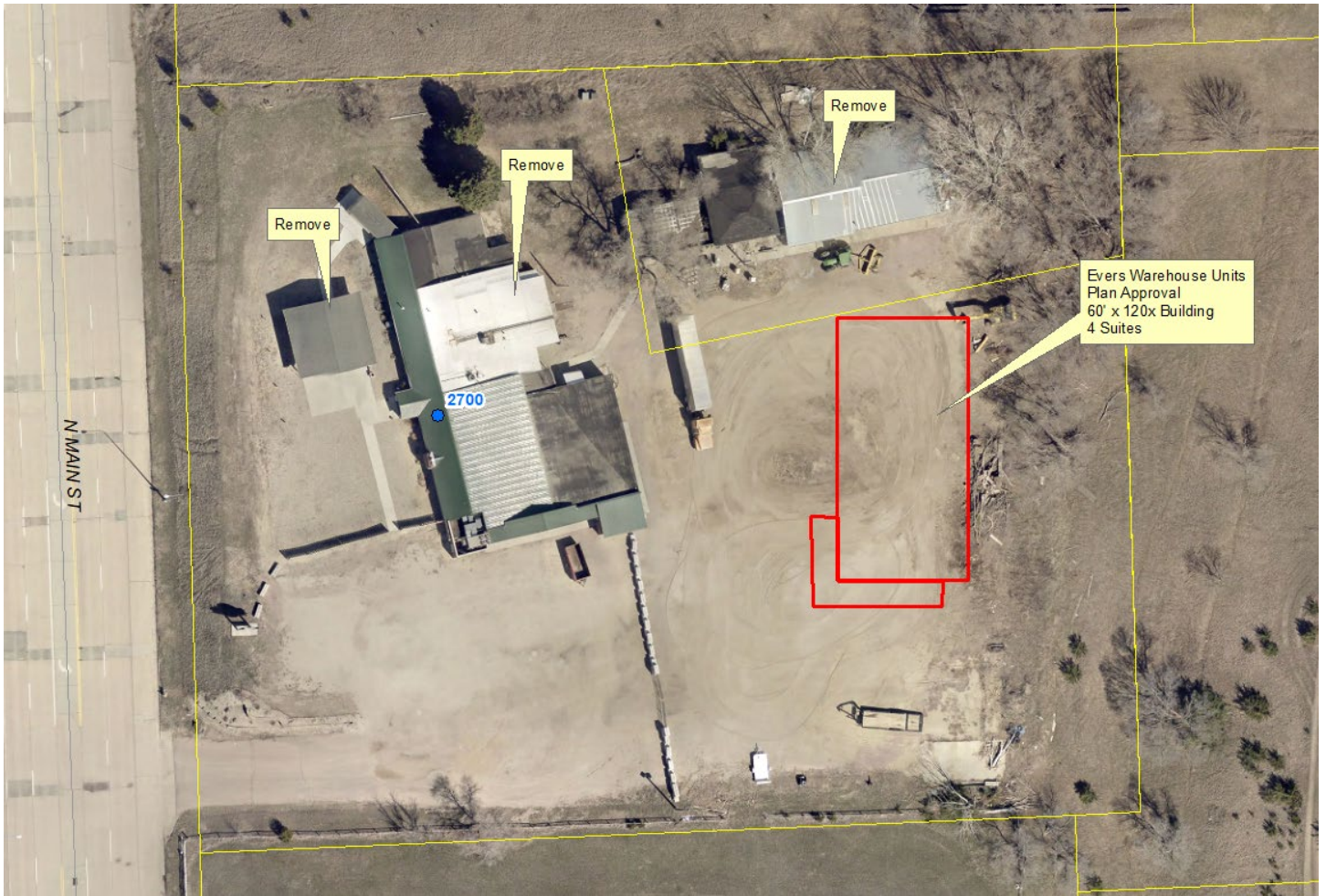
X

APPROVE

DISAPPROVE

COMMENTS:

Outside expectations



BUILDING DATA:
SINGLE STORY - 7,450 SF
CONSTRUCTION TYPE - VB
PRE-ENGINEERED WOOD ROOF AND
WOOD ROOF TRUSS BUILDING WITH
WOOD ROOF TRUSS BUILDING WITH
NO FIRE SPRINKLER SYSTEM. COMMON
WALLS BETWEEN TENANTS.
DRAFT STOPPED TO ROOF DECK

CODE DATA:
1's & 5-1 OCCUPANCY CLASSIFICATION
ALLOWABLE SF - 9,000
3-1 STORAGE STOCK LIMITED TO 12 FEET
IN HEIGHT. HIGH PILED STORAGE OF
COMBUSTIBLE STOCK OVER 12 FEET HIGH
SHALL COMPLY WITH IBC SECTION 413
2. INTERNATIONAL FIRE CODE
BAR/CASINO TENANT SPACE WITH LESS
THAN 50 OCCUPANTS TO BE CLASSIFIED
AS A 'B' TYPE OCCUPANCY IN LIEU OF
AN A-2 OCCUPANCY

SINGLE STORY - 7,450 SF
CONSTRUCTION TYPE - VB
PRE-ENGINEERED WOOD ROOF AND
WOOD ROOF TRUSS BUILDING WITH
NO FIRE SPRINKLER SYSTEM. COMMON
WALLS BETWEEN TENANTS.
DRAFT STOPPED TO ROOF DECK

13 & 5-1 OCCUPANCY CLASSIFICATION ALLOWABLE SF - 9,000
5-1 STORAGE STOCK LIMITED TO 12 FEET IN HEIGHT, HIGH PILED STORAGE OF COMBUSTIBLE STOCK OVER 12 FEET HIGH SHALL COMPLY WITH IBC SECTION 413 & INTERNATIONAL FIRE CODE
BAR/CASINO TENANT SPACE WITH LESS THAN 50 OCCUPANTS TO BE CLASSIFIED AS A 'B' TYPE OCCUPANCY IN LIEU OF AN A-2 OCCUPANCY.

PROPERTY	DATE	DESCRIPTION	REMARKS
EVERS WAREHOUSE UNITS \$ CASINO 2700 N. MAIN ST MITCHELL, SD			1001-2023
			OCT. 18, 2023
			COVER SHEET
			C5-1

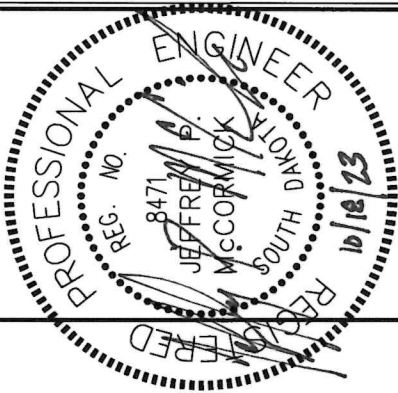


LEGAL DESCRIPTION:
LOT 1A OF BRIG ADDITION, A
SUBDIVISION OF IRREGULAR TRACT
12 IN THE SW 1/4 OF SECTION
10, T 103 N, R 60 W OF THE
5th P.M., CITY OF MITCHELL,
DAVISON COUNTY, SOUTH DAKOTA

SPN
& Associates

Engineers - Planners - Surveyors
2100 North Sanborn Boulevard - P.O. Box 398
Mitchell, South Dakota 57301-0398
Phone: (605) 996-7761 - Fax: (605) 996-0015

Certificate
I hereby certify that this
plan, specification, or report
was prepared by me or
under my direct supervision
and that I am a duly
Registered Professional
Engineer under the laws of
the State of South Dakota.

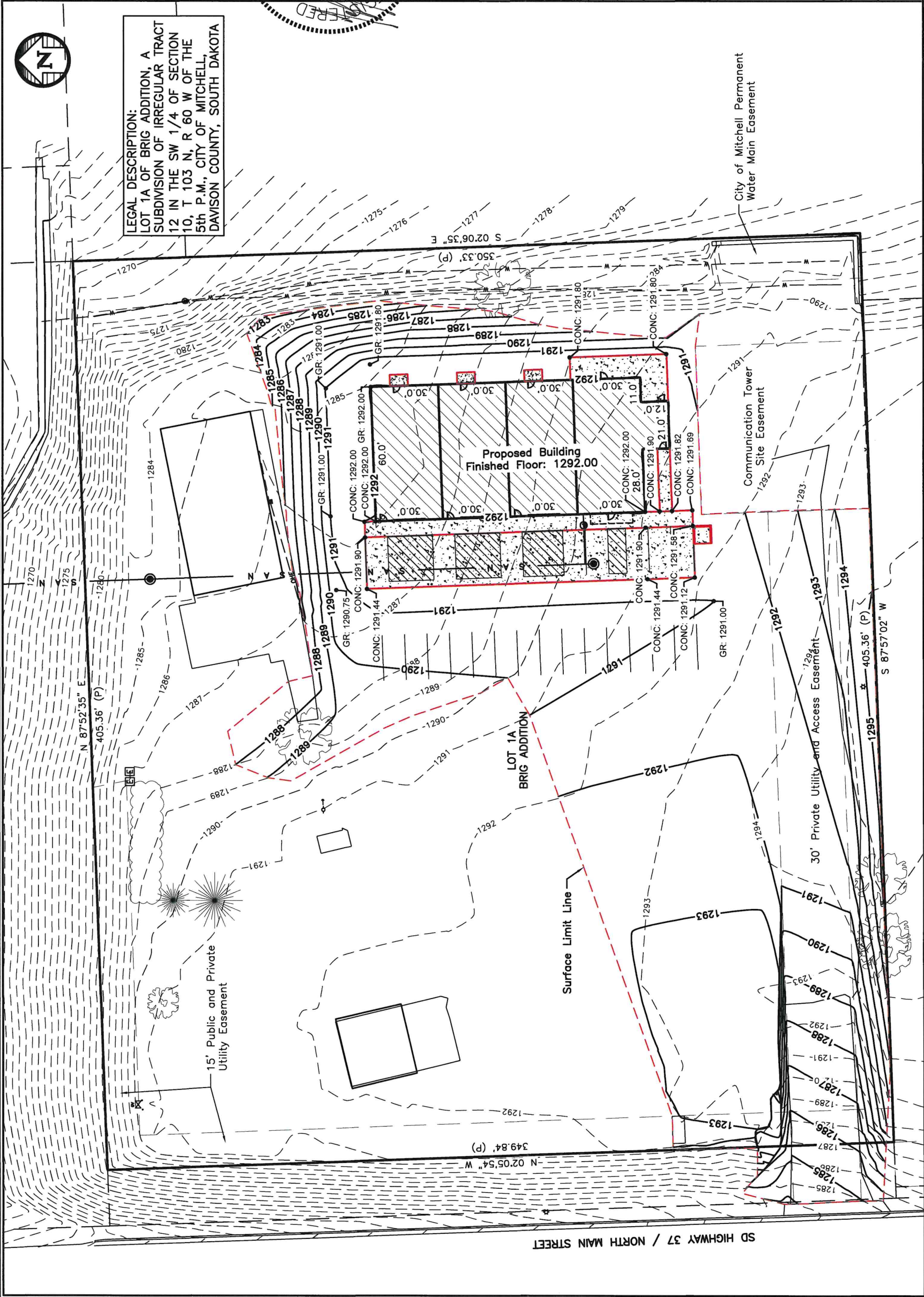


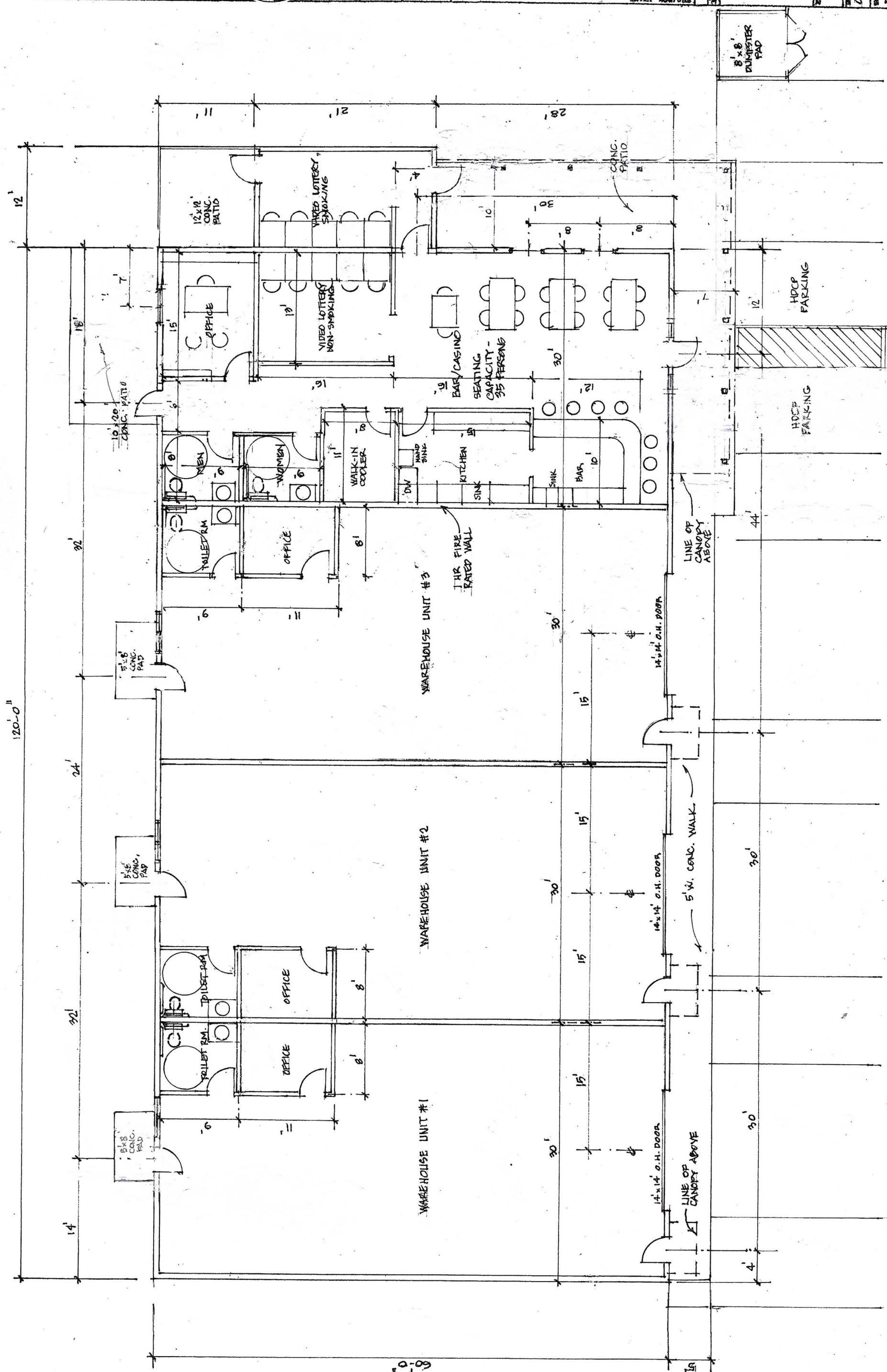
Plan Horiz. Scale:	1" = 40'
Drawn By:	NAP
Checked By:	JPM
Date:	10/18/2023
Project No.:	14521
File Name:	14521-CullyEvers Lot1A Brig Addn

Project Name:
**Cully Evers
Lot 1A
Brig Addition**

Located in:
**Mitchell,
South Dakota**
Sheet Name:
Grading Plan

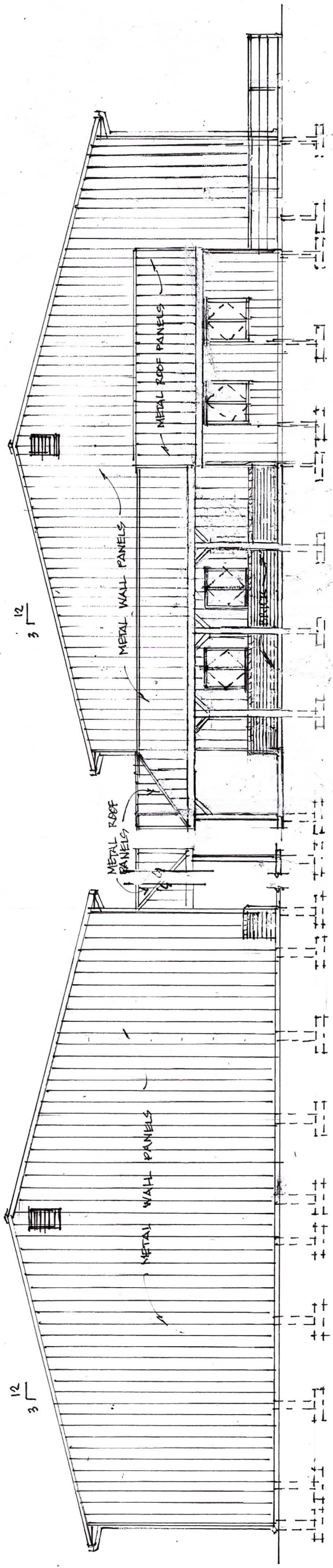
Sheet Number:	1
Total Sheets:	1





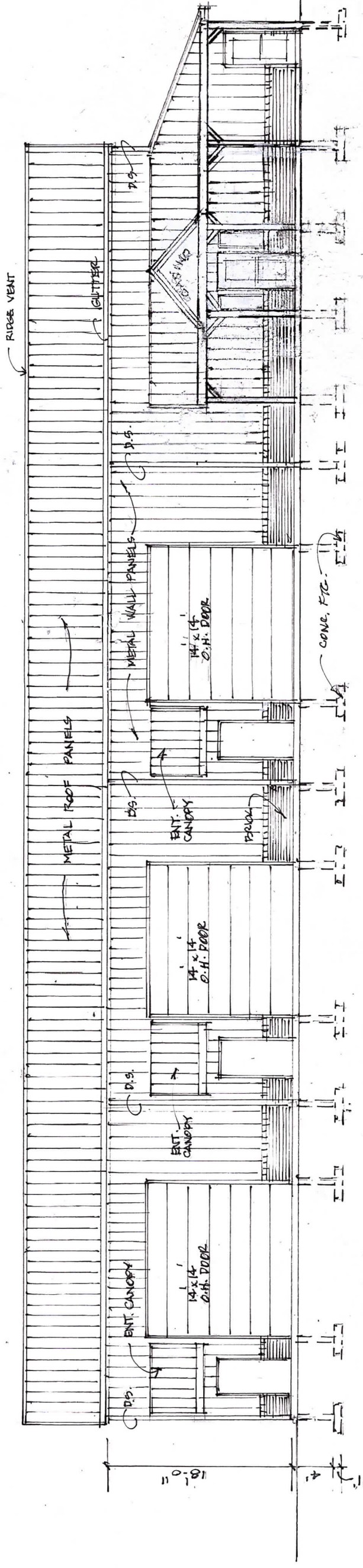
1 FLOOR PLAN
A-1 $3/32'' = 1'-0''$

↓
N



1 NORTH ELEVATION
A-2 3/32" = 1'-0"

2 SOUTH ELEVATION
A-2 3/32" = 1'-0"



3 WEST ELEVATION
A-2 3/32" = 1'-0"

PROJECT NAME EVERS WAREHOUSE UNITS & CASINO 2700 N. MAIN ST. MITCHELL, SD		PROJECT NO. 1001 - 2022	
ARCHITECT L.L. JIRSA ARCHITECT 605-770-6424 PO BOX 925 MITCHELL, SD 57301 email: lljirsa@lirsaarchitects.com		SHEET TITLE EXTERIOR ELEVATIONS SHEET NO. A-2	
REGISTERED ARCHITECT L.L. JIRSA SOUTH DAKOTA REG. NO. 1995 01-18-23		DATE OCT. 18, 2023	





Independent Viking Glass, Inc.
1908 W. Havens Avenue • Mitchell, SD 57301-3800
Telephone (605) 996-5561 • Fax (605) 996-5958

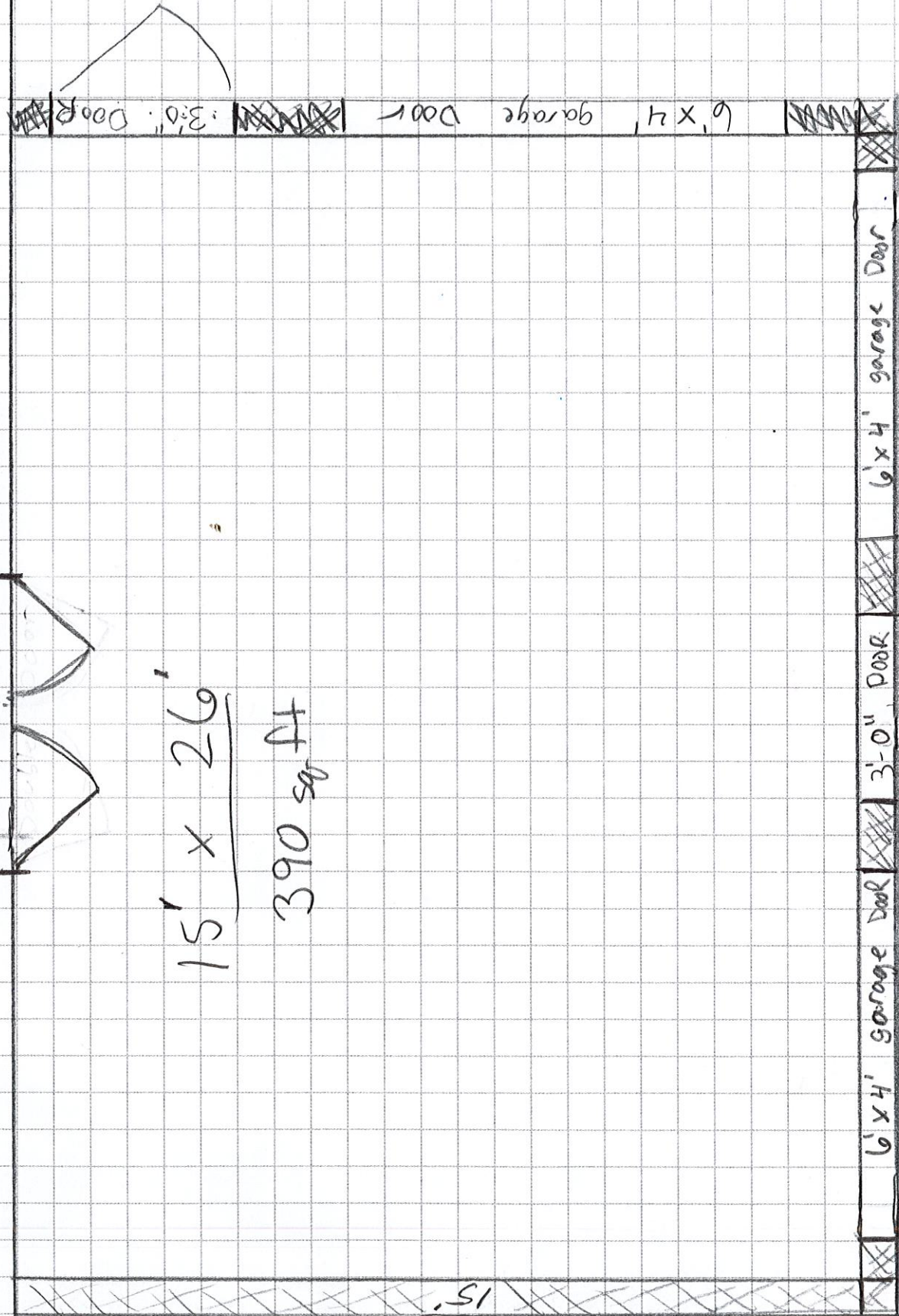
"The Window to All your Glass Needs"

Glass Man



NOTES:

EXISTING BUILDING



15' x 26'

390 sq ft

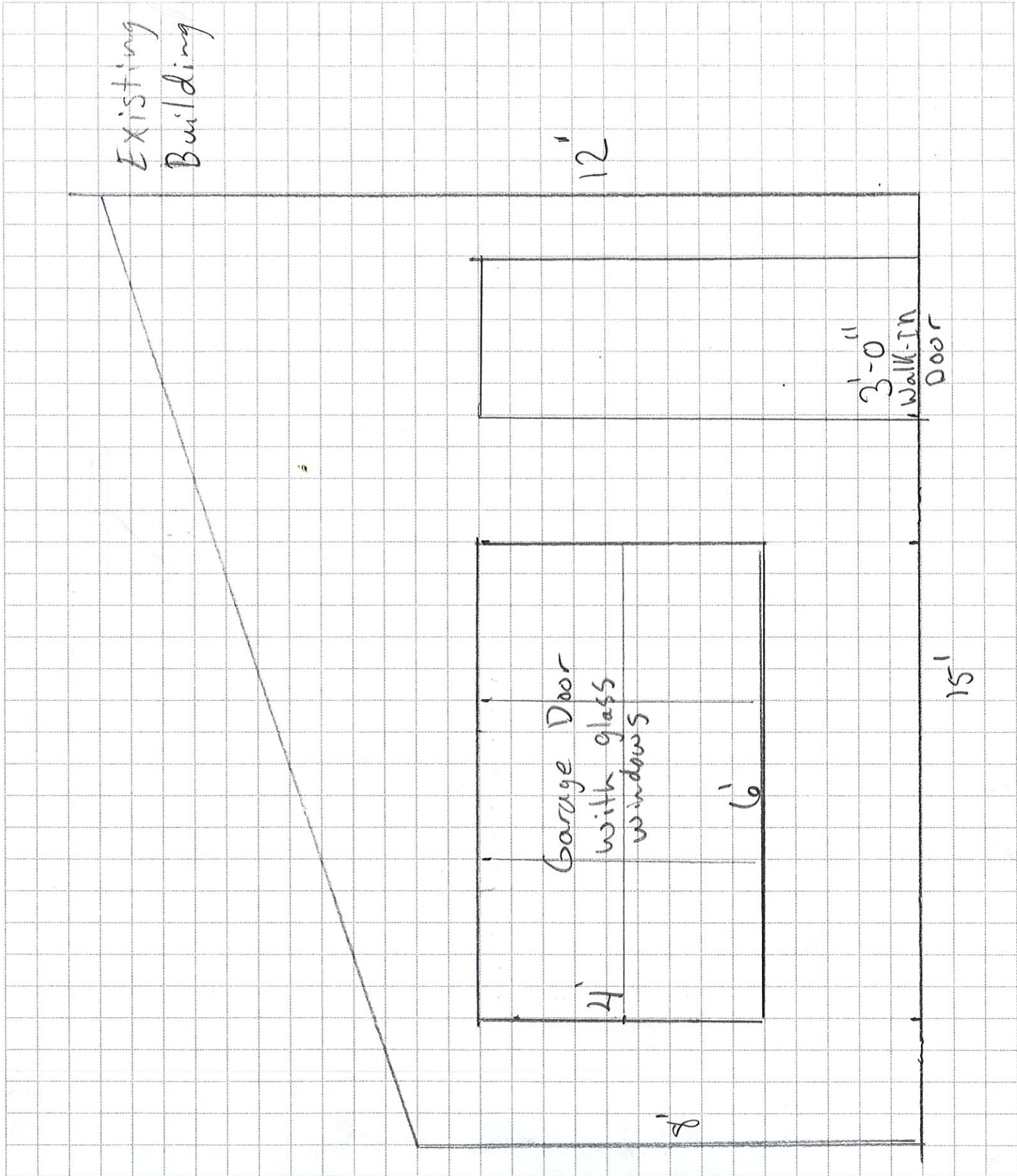
2' 26' 2'



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NOTES:





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NOTES:

