Planning Commission 11-25-25 Agenda
City Council Chambers, City Hall, 612 N. Main Street
November 25, 2024

1. **12:00 PM Call to Order**
2. **Roll Call**
3. **Declaration Of Conflicts Of Interests**
4. **Approve Agenda**
5. **Approval of Previous Minutes: November 12, 2024**
6. **Schedule Next Meeting: December 9, 2024**
7. **Plat: CJM Consulting Inc**
   Plat of Lot 4, Block 6 of the Woods First Addition, a subdivision of the E 1/2 of the SW 1/4 of Section 23, T 103 N, R 60 W of the 5th P.M., City of Mitchell, Davison County, South Dakota
8. **Plat: Van Laecken Properties LLC**
   Plat of Lot B1 in the North 312.7 Feet of Lot B of Thomsen's 1st Addition, in the Southeast Quarter of the Southwest Quarter of Section 28, Township 103 North, Range 60 West of the 5th Principal Meridian, City of Mitchell, Davison County, South Dakota
9. **Plan Approval: CJM Consulting Inc**
   1000 Block of Commerce St, zoned Highway Oriented Business District
10. **Plan Approval: MAD Garage LLC**
    2100 Block of N Main St, zoned Highway Oriented Business District
11. **Other Business:**
12. **Public Input:**
    If you need to address the Board on an item that was not on the agenda, excluding personnel items, please come forward to the podium and state your name and your concern. Presentations are limited to three minutes. Items will be considered but no action will be taken at this time.
13. **Adjourn**

Individuals with disabilities who require special assistance to take part in this meeting may contact one of the following at City Hall (605) 995-8420 at least 24 hours prior to the meeting with requests for assistance: Human Resources Officer or the City Administrator.

Planning Commission 11-12-24
City Council Chambers, City Hall, 612 N. Main Street
November 12, 2024

1. Call to Order
Chairperson Genzlinger called the November 12, 2024 City Planning Commission Meeting to order at 12:00 P.M. noon in the Council Chambers, City Hall, 612 N Main Street.

2. Roll Call
Quorum is met, simple majority vote required for all items.
Present: Genzlinger, Havlik, Jirsa (telephonically), Osterloo, Schmitz, Schreurs.
Absent: Doescher, Sonne.
Staff Present: Ellwein, Hegg, Jenniges, J Johnson, Schroeder.

3. Declaration Of Conflicts Of Interests
Schmitz item #10

4. Approve Agenda
Motion by Havlik, seconded by Schmitz to approve the proposed agenda. All present voting aye; motion carried.

5. Approval of Previous Minutes: October 28, 2024
Motion by Schmitz, seconded by Osterloo to approve the proposed minutes of the October 28, 2024 Planning Commission Meeting. All present voting aye; motion carried.

6. Schedule Next Meeting: November 25, 2024
Motion by Havlik, seconded by Osterloo to set the date for the next Planning Commission Meeting for November 25, 2024. All present voting aye; motion carried.

7. Hearing & Action on Establishing the Boundaries and Approval of the Project Plan for Tax Increment Financing District #40
Jenniges gave an overview of the area where TIF 40 would be located. He noted it was published in the official newspaper. This TIF by Golden Prairie Apartments LLC is to create affordable housing through two 24 unit apartment buildings. This apartment would be located to the west of Menards and north of an apartment currently under construction. The apartments would have to be rented at or below 80% of the area median income. Jenniges noted the applicant is requesting around $1,610,000 and has eligible TIF expenses of around $1,700,000. This is a developer-financed TIF which makes this a grant pass through and

does not go against the city's constitutional debt. The applicant has 5 years to spend the $1,610,000 and 20 years to pay it back through the tax increase. The applicant was present to answer questions.

Osterloo questioned that with Steve Sibson speaking out about most of the previous TIF's if the city is missing something. Johnson answered that Mr. Sibson just has a philosophical difference on the use of TIF's then the city does.

Skyler Mickelson of Morgan Theeler representing the applicant said that he and Don Petersen talked to Mr. Sibson after the last council meeting to answer any of his questions about TIF's, but does expect to see him at the council meeting for approval of this TIF.

Motion by Havlik, seconded by Schmitz, to set the boundaries for TIF District #40 to include the following:

LOT ONE (1), EXCLUDING LOT ONE-A (1A) IN BLOCK THREE (3) OF STARDUST SUBDIVISION TO THE CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA

All present voting aye; motion carried.

Motion by Schmitz, seconded by Osterloo to approve the project plan and recommend approval of TIF District #40. All present voting aye; motion carried.

8. Variance Permit: Kyle Zacher

Kyle Zacher on has applied for a Variance Permit for maximum height of an accessory building of 30' vs 22' to add onto existing garage and creating a mezzanine in the new portion of the garage with enough room under the mezzanine for the garage doors to open. This is located at 1420 E Hanson Ave, legally described as Lot 1, Block 8, Fair View Addition, City of Mitchell, Davison County, South Dakota. The property is zoned R2 Single Family Residential District.

Jenniges explained neighbors were notified, sign posted and published in the official newspaper. There were two responses in favor of the variance. The applicant would like to put an addition onto his existing garage. He does meet all the required setbacks and is under the 2,000 square feet. The applicant has submitted a sketch that is in the packet for the footprint of the addition. The applicant was present to answer questions.

The applicant presented a packet containing history of their property and reason for why they would like to build the garage addition. Also included in the packet was a set of drawings.

Genzlinger questioned what their hardship was, and was answered that their basement keeps flooding, and they would like to move stuff from down there to the mezzanine.

Schreurs questioned if all the vehicles that are shown on the GIS view would be moved inside and that was answered that they would be. Schreurs said he walks by the house often and believes this would help to clean up the site.

Motion by Jirsa, seconded by Havlik to recommend approval of the variance. All present voting aye, motion carried.

9. Plan Approval: Hackberry Holdings LLC
Jenniges reminded the board that this piece of property had just been rezoned to HB for the purpose of this project. The applicant would like to build a 50' x 175' cold storage building. This is located at 1005 S Lawler St. The applicant has submitted drawings of the proposed project that are in the packet. The applicant was not present to answer questions.

Genzlinger question drainage on the property. Schroeder noted that the lot is all hard surface now and a building on the location will not increase the amount of runoff.

Motion by Schmitz, seconded by Havlik to approve the plan. All present voting aye; motion carried.

10. Plan Approval: Milkyway
Jenniges explained the applicant would like to create a drive thru at the old Hungry Dog/Zesto's bulding. The applicant submitted an overall plan for the drive thru and parking which is included within the packet. This is located at 422 S Sanborn Blvd. The applicant was present to answer questions.

Genzlinger questioned if this would be a 9-month operational period. Allen Lepke stated that is the plan. Also, he stated they plan to gut the building and make it usable for them. They also plan to blacktop/seal the parking lot and clean up the rest of the area.

Motion by Osterloo, seconded by Havlik to approve the plan. All present voting aye (Schmitz abstain); motion carried.

11. Plat: Ethan Coop Lumber
Plat of Lot 5, Block 6 of Woodland Heights First Addition, a subdivision of Lot 3, Crane's Addition in the SE 1/4 of Section 34, T 103 N, R 60 W of the 5th P.M., City of Mitchell, Davison County, South Dakota.

Jenniges explained this plat follows the master plan for the development and there are only a few more pieces of land to be platted in this development. This plat does meet the requirements in their PUD. The applicant was not present to answer questions.

Motion by Havlik, seconded by Osterloo to approve the plat. All present voting aye; motion carried.

12. Plan Approval: Mitchell Telecom
Jenniges noted the site plan that was included within the packet. The applicant would like to place a 12' x 28' structure on the property to house equipment. This is located in the 1500 block of N Commerce St. The applicant provided a site plan and structure pictures in the packet. The applicant was present to answer questions.

Motion by Jirsa, seconded by Osterloo to approve the plan. All present voting aye; motion carried.

13. Other Business:
None.

14. Public Input:
None.

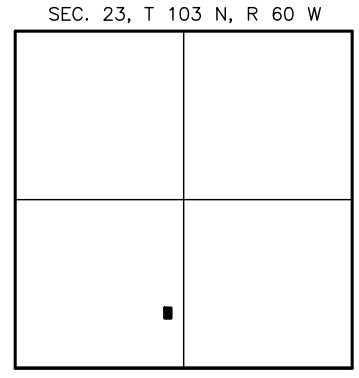
15. Adjourn
Chairperson Genzlinger adjourned the meeting at 12:18 P.M.

_____
Kevin Genzlinger
Planning Commission Chairperson

1800
1820
TIGER ST
CHARLES AVE
CJM Consulting Inc
Milo & Lorie Hanson
1801
Lot 4
+/- .37 Acres
CJM Consulting Inc

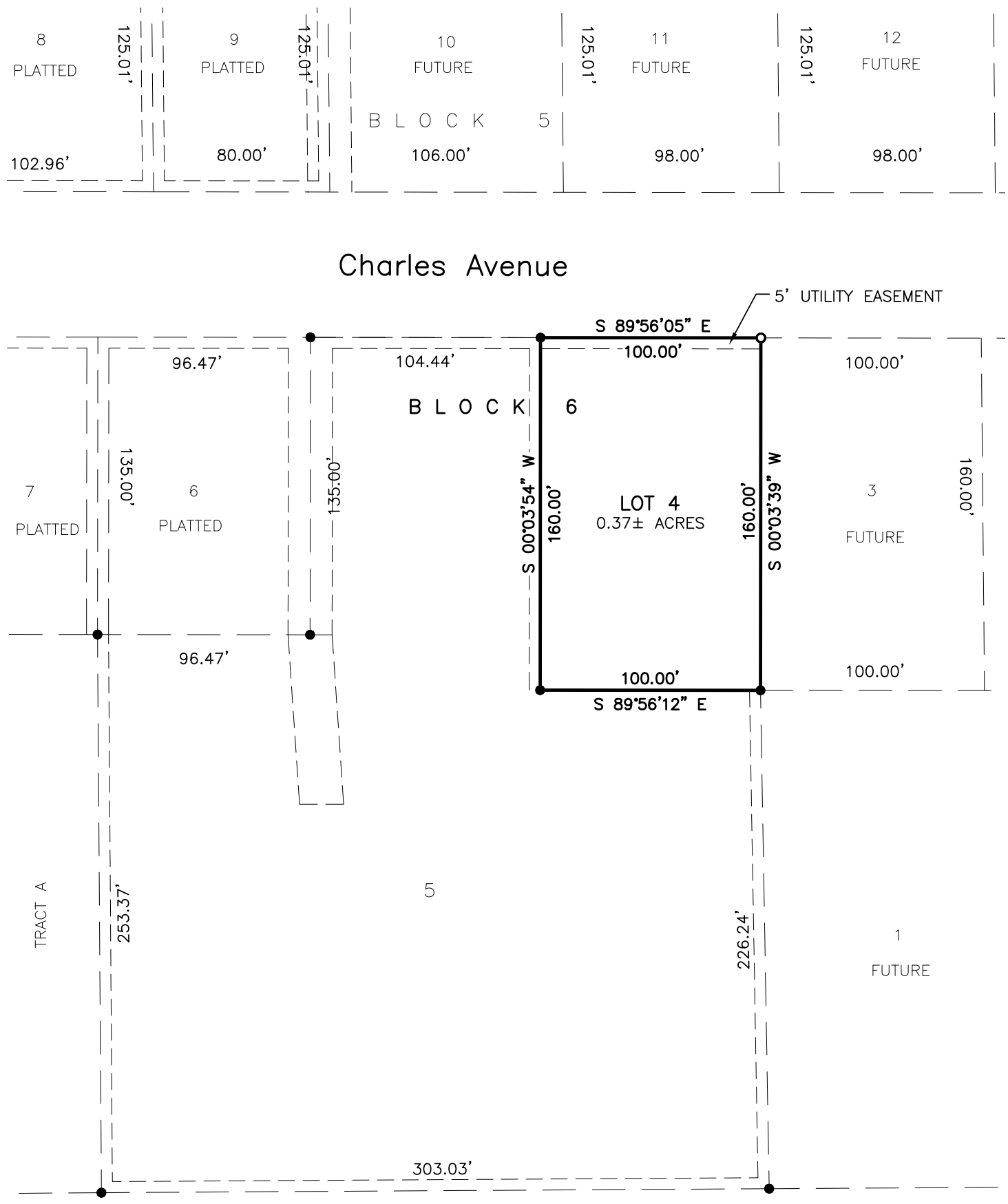
1809 CHARLES AVE
1801 CHARLES
CHARLES AVE
1800 CHARLES AVE

SEC. 23, T 103 N, R 60 W



LOCATION MAP
SCALE: 1" = 3000'

1 inch = 60 ft.



LEGEND

- ● = FOUND IRON MONUMENT
- ○ = SET 5/8" X 18" REBAR WITH PLASTIC CAP NO. 13714
- 100' (P) = PLATTED BEARING OR DISTANCE
- 100' = MEASURED BEARING OR DISTANCE
- ⊠ = SET NAIL
- ▲ = SET SURVEY SPIKE
- 4.00 CH (P) = PLATTED DISTANCE IN CHAINS
- ■ = FOUND NAIL
- ◇ = SET 3/8" x 12" SPIKE W/WASHER JAW-13714
- WM = WITNESS MONUMENT

PREPARED BY: JEREMY A. WOLBRINK, R.L.S.
2100 NORTH SANBORN BLVD. – P.O. BOX 398
MITCHELL, SOUTH DAKOTA 57301
PHONE: (605) 996-7761

BEARINGS ARE BASED ON AN ASSUMED COORDINATE SYSTEM USING GPS GRID BEARINGS/GROUND DISTANCES

EASEMENTS WITHIN LOT 4, BLOCK 6 DEDICATED BY THIS PLAT:

FRONT ALONG CHARLES AVENUE = 5' UTILITY EASEMENT

A PLAT OF LOT 4, BLOCK 6 OF THE WOODS FIRST ADDITION, A SUBDIVISION OF THE EAST 1/2 OF THE SW 1/4 OF SECTION 23, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA.

SURVEYOR'S CERTIFICATE

I, Jeremy A. Wolbrink, the undersigned, do hereby certify that I am a Registered Land Surveyor in the State of South Dakota. At the request of CJM Consulting, Inc., a South Dakota corporation, as owner, and under its direction for purposes indicated therein, I did on or prior to November 6, 2024, survey those parcels of land described as follows: LOT 4, BLOCK 6 OF THE WOODS FIRST ADDITION, A SUBDIVISION OF THE EAST 1/2 OF THE SW 1/4 OF SECTION 23, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA.

In my professional opinion and to the best of my knowledge, information and belief, the within and foregoing plat is true and correct.

Dated this _____ day of November, 2024.

_____
Registered Land Surveyor #SD13714

REGISTERED LAND SURVEYOR
REG. NO.
13714
JEREMY A.
WOLBRINK
SOUTH DAKOTA

SPN & Associates
Engineers, Planners and Surveyors
2100 North Sanborn Blvd. - P.O. Box 398 Mitchell, South Dakota 57301
Phone: (605) 996-7761 Fax: (605) 996-0015

A PLAT OF LOT 4, BLOCK 6 OF THE WOODS FIRST ADDITION, A SUBDIVISION OF THE EAST 1/2 OF THE SW 1/4 OF SECTION 23, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA.

OWNER'S CERTIFICATE, DEDICATION AND AGREEMENT OF PROTECTION OF WATER

KNOW ALL MEN BY THESE PRESENTS that I, the undersigned, hereby certify that CJM Consulting, Inc., a South Dakota corporation, is the absolute and unqualified owner of all of the land included in the within and foregoing plat; the plat is of a parcel of ground located in THE EAST 1/2 OF THE SW 1/4 OF SECTION 23, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA; that the plat has been made at the request of CJM Consulting, Inc., a South Dakota corporation, and under its direction for the purposes indicated therein; which said property as so surveyed and platted shall hereafter be known as LOT 4, BLOCK 6 OF THE WOODS FIRST ADDITION, A SUBDIVISION OF THE EAST 1/2 OF THE SW 1/4 OF SECTION 23, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA, as shown by this plat; and CJM Consulting, Inc., a South Dakota corporation, hereby dedicates to the public, for public use forever as such, the streets, alleys and easements, if any, as noted and shown on said plat; and that development of the land included within the boundaries of said Lot 4, Block 6 shall conform to all applicable zoning, subdivision, erosion, sediment control and drainage regulations and ordinances; further that there now exists Charles Avenue. Pursuant to SDCL 11-3-8.1 and 11-3-8.2 the developer of the property described within this plat shall be responsible for protecting any waters of the state located adjacent to or within such platted area from pollution from sewage from such subdivision and shall, in prosecution of such protections conform to and follow all regulations of the South Dakota Department of Agriculture and Natural Resources relating to the same. Additionally, the developer of the property described within this plat shall be liable for any pollution that occurs from failure to execute such protections or follow such regulations, exception being those lots in subdivisions that show documentation that wastewater drainage shall be connected to a municipal system.

IN WITNESS WHEREOF, I have hereunto set my hand this _____ day of _____, 2024.

_____
Charles J. Mauszycki, Jr., Vice President of CJM Consulting, Inc.,
a South Dakota corporation

CORPORATION ACKNOWLEDGMENT

STATE OF SOUTH DAKOTA)
)SS
COUNTY OF DAVISON)

On this, the _____ day of _____, 2024, before me, _____, the undersigned officer, personally appeared Charles J. Mauszycki, Jr., of CJM Consulting, Inc., a South Dakota corporation, and that he, as such Vice President, being authorized so to do, executed the foregoing instrument for the purposes therein contained, by signing the name of the corporation by himself as Vice President.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

_____
Notary Public, South Dakota
My Commission Expires:_____

RESOLUTION OF CITY PLANNING COMMISSION

WHEREAS, the plat of LOT 4, BLOCK 6 OF THE WOODS FIRST ADDITION, A SUBDIVISION OF THE EAST 1/2 OF THE SW 1/4 OF SECTION 23, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA, prepared by Jeremy A. Wolbrink, duly licensed Land Surveyor in and for the State of South Dakota, heretofore filed in the office of the City Finance Officer of Mitchell, South Dakota, has been submitted to the City Planning Commission of the said City of Mitchell, South Dakota; and

WHEREAS, the City Planning Commission, in regular meeting assembled, had duly considered said plat and finds as a fact that said plat is in conformity and does not conflict with the Master Plan for the City of Mitchell, South Dakota, heretofore adopted by this Commission;

NOW THEREFORE, be it resolved by the City Planning Commission of Mitchell, South Dakota, that the plat of LOT 4, BLOCK 6 OF THE WOODS FIRST ADDITION, A SUBDIVISION OF THE EAST 1/2 OF THE SW 1/4 OF SECTION 23, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA, prepared by Jeremy A. Wolbrink, a Land Surveyor, be and the same is hereby approved and its adoption by the City Council of the City of Mitchell, South Dakota, is hereby recommended.

The undersigned does hereby certify that the foregoing resolution was passed by the City Planning Commission of Mitchell, South Dakota, at a meeting thereof held on the _____ day of _____, 2024.

_____
Chairperson/Vice Chairperson of the City of Mitchell
Planning Commission

REGISTERED LAND SURVEYOR
REG. NO.
13714
JEREMY A.
WOLBRINK
SOUTH DAKOTA

SPN & Associates
Engineers, Planners and Surveyors
2100 North Sanborn Blvd. - P.O. Box 398 Mitchell, South Dakota 57301
Phone: (605) 996-7761 Fax: (605) 996-0015

A PLAT OF LOT 4, BLOCK 6 OF THE WOODS FIRST ADDITION, A SUBDIVISION OF THE EAST 1/2 OF THE SW 1/4 OF SECTION 23, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA.

RESOLUTION OF CITY COUNCIL

WHEREAS, it appears that the City Planning Commission of the City of Mitchell, South Dakota, did duly consider and did recommend the approval and adoption of the hereinafter described plat, at its meeting held on the _____ day of _____, 2024; and

WHEREAS, it appears from an examination of the plat of LOT 4, BLOCK 6 OF THE WOODS FIRST ADDITION, A SUBDIVISION OF THE EAST 1/2 OF THE SW 1/4 OF SECTION 23, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA, as prepared by Jeremy A. Wolbrink, a duly licensed Land Surveyor in and for the State of South Dakota, that said plat is in accordance with the system of streets and alleys set forth in the Master Plan adopted by the City Planning Commission of the City of Mitchell, South Dakota, and that such plat has been prepared according to law;

THEREFORE, be it resolved by the City Council of Mitchell, South Dakota, that the plat of LOT 4, BLOCK 6 OF THE WOODS FIRST ADDITION, A SUBDIVISION OF THE EAST 1/2 OF THE SW 1/4 OF SECTION 23, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA, prepared by Jeremy A. Wolbrink, be and the same is hereby approved and the description set forth therein and the accompanying surveyor's certificate shall prevail.

The undersigned does hereby certify that the foregoing resolution was passed by the City of Mitchell, South Dakota, at a meeting held on the _____ day of _____, 2024.

_____
Finance Officer/Deputy Finance Officer of the City of Mitchell

CERTIFICATE OF COUNTY TREASURER

The undersigned does hereby certify that all taxes which would, if not paid, be liens upon any of the land included in the within and foregoing plat, as shown by the records of this office, have been fully paid.

_____ _____
Treasurer/Deputy Treasurer of Davison County Date

DIRECTOR OF EQUALIZATION

The undersigned does hereby certify that a copy of the plat of LOT 4, BLOCK 6 OF THE WOODS FIRST ADDITION, A SUBDIVISION OF THE EAST 1/2 OF THE SW 1/4 OF SECTION 23, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA, has been received by me and is filed in this office.

_____ _____
Director of Equalization/Deputy Director of Equalization of Davison County Date

REGISTER OF DEEDS

STATE OF SOUTH DAKOTA)
)SS
COUNTY OF DAVISON)

FILED for record this _____ day of _____, 2024, at _____, and recorded in Book _____ of Plats on Page _____ therein and recorded on Microfilm Number _____.

_____ By_____
Register of Deeds, Davison County Deputy

REGISTERED LAND SURVEYOR
REG. NO.
13714
JEREMY A.
WOLBRINK
SOUTH DAKOTA

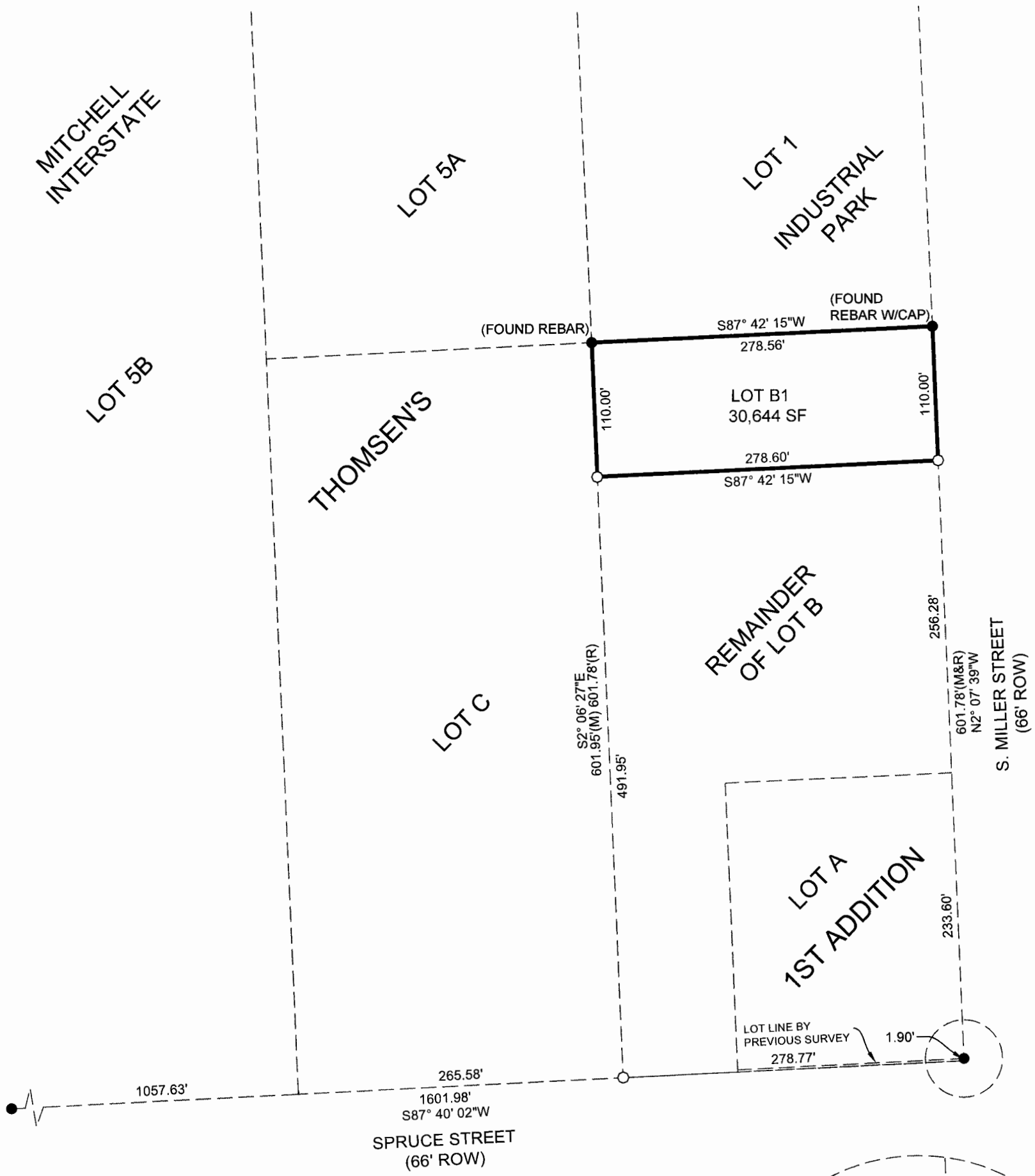
SPN & Associates
Engineers, Planners and Surveyors
2100 North Sanborn Blvd. - P.O. Box 398 Mitchell, South Dakota 57301
Phone: (605) 996-7761 Fax: (605) 996-0015

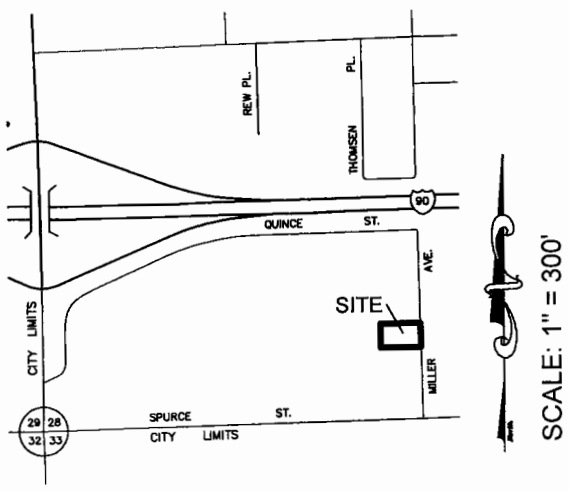
Lot B1
30,644 SF
Van Laecken Properties LLC
S MILLER ST
W SPRUCE ST
900
920
800

SPRUCE ST
920 W SPRUCE ST
900 W SPRUCE ST
S MILLER AVE
1918 S MILLER ST

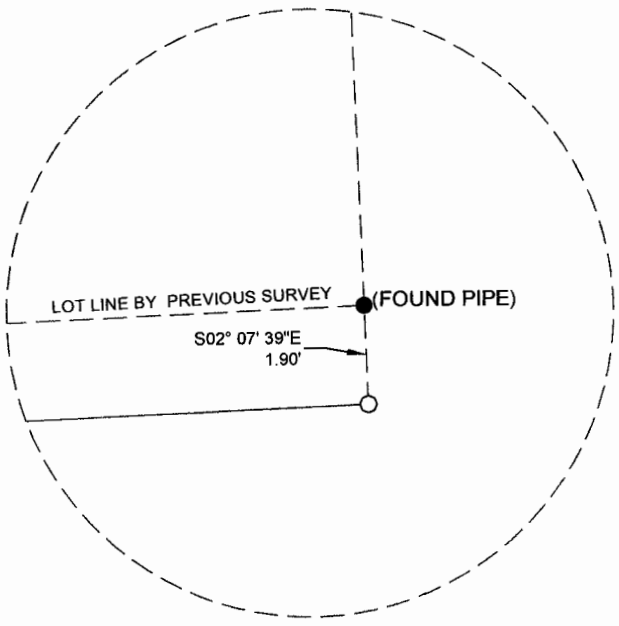
LOT B1 IN THE NORTH 312.7 FEET OF LOT B OF THOMSEN'S 1ST ADDITION,

IN THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 103 NORTH, RANGE 60 WEST OF THE 5TH PRINCIPAL MERIDIAN, CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA.





AREA MAP: N.T.S.
CITY OF MITCHELL
SECTION 28, T103N,
R60W, 5TH P.M.



Brosz ENGINEERING, INC.

PREPARED BY:
BROSZ ENGINEERING, INC.
2309 W. 50th St.
Sioux Falls, SD 57105

t (605) 336-1676
f (605) 336-1853
www.broszeng.com

LEGEND:

- ● FOUND MONUMENT
- ○ SET 5/8" REBAR WITH CAP #9593
- (R) RECORD INFORMATION

NOTE:

BASIS OF BEARING IS SOUTH DAKOTA STATE PLANE SOUTH, GROUND DISTANCE.

PROJ. NO.: 2407053 DRAWN BY: CHS DATE: 11/1/2024

LOT B1 IN THE NORTH 312.7 FEET OF LOT B OF THOMSEN'S 1ST ADDITION,

IN THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 103 NORTH, RANGE 60 WEST OF THE 5TH PRINCIPAL MERIDIAN, CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA.

SURVEYOR'S CERTIFICATE

I, STEVEN G. ZIMMER, A REGISTERED LAND SURVEYOR OF THE STATE OF SOUTH DAKOTA, DO HEREBY STATE THAT I DID ON OR BEFORE NOVEMBER 1ST, 2024, SURVEY PART OF LOT B OF THOMSEN'S FIRST ADDITION IN THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 103 NORTH, RANGE 60 WEST OF THE 5TH PRINCIPAL MERIDIAN, CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA AND PLATTED THE SAME INTO LOT B1 IN THE NORTH 312.7 FEET OF LOT B OF THOMSEN'S FIRST ADDITION IN THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 103 NORTH, RANGE 60 WEST OF THE 5TH PRINCIPAL MERIDIAN, CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA. CONTAINING 0.70 ACRES.

DATED THIS 4TH DAY OF NOVEMBER, 2024.

REGISTERED LAND SURVEYOR
REG. NO. 9593
STEVEN G. ZIMMER
SOUTH DAKOTA

STEVEN G. ZIMMER, REGISTERED LAND SURVEYOR NO. 9593

OWNER'S CERTIFICATE

I, CHAD VAN LAECKEN, PRESIDENT OF VAN LAECKEN PROPERTIES LLC, DO HEREBY CERTIFY THAT WE ARE THE OWNERS OF ALL LAND INCLUDED IN THE PLAT AND THAT SAID PLAT HAS BEEN MADE AT OUR REQUEST AND IN ACCORDANCE WITH OUR INSTRUCTIONS FOR THE PURPOSES OF LOCATING, MARKING, PLATTING AND/OR TRANSFER, AND THAT THE DEVELOPMENT OF THIS LAND SHALL CONFORM TO ALL EXISTING APPLICABLE ZONING, SUBDIVISION, DRAINAGE, AND EROSION AND SEDIMENT CONTROL REGULATIONS.

WE HEREBY DEDICATE TO THE PUBLIC FOR PUBLIC USE FOREVER, THE STREETS, ROADS, ALLEYS, PARKS AND PUBLIC GROUNDS, IF ANY, AS SHOWN ON SAID PLAT, INCLUDING ALL SEWERS, CULVERTS, BRIDGES, WATER DISTRIBUTION LINES, SIDEWALKS AND OTHER IMPROVEMENTS ON OR UNDER THE STREETS, ROADS, ALLEYS, PARKS AND PUBLIC GROUNDS, WHETHER SUCH IMPROVEMENTS ARE SHOWN OR NOT. WE ALSO HEREBY GRANT EASEMENTS TO RUN WITH THE LAND FOR WATER, DRAINAGE, SEWER, GAS, ELECTRIC, TELEPHONE OR OTHER PUBLIC UTILITY LINES OR SERVICES UNDER, ON OR OVER THOSE STRIPS OF LAND DESIGNATED HEREON AS EASEMENTS AND PURSUANT TO 11-3-8.1 AND 11-3-8.2 THE DEVELOPER OF THE PROPERTY DESCRIBED WITHIN THIS PLAT SHALL BE RESPONSIBLE FOR PROTECTING ANY WATERS OF THE STATE LOCATED ADJACENT TO OR WITHIN SUCH PLATTED AREA FROM POLLUTION FROM SEWAGE FROM SUCH SUBDIVISION AND SHALL, IN PROSECUTION OF SUCH PROTECTIONS CONFORM TO AND FOLLOW ALL REGULATIONS OF THE SOUTH DAKOTA DEPARTMENT OF AGRICULTURE AND NATURAL RESOURCES RELATING TO THE SAME. ADDITIONALLY, THE DEVELOPER OF THE PROPERTY DESCRIBED WITHIN THIS PLAT SHALL BE LIABLE FOR ANY POLLUTION THAT OCCURS FROM FAILURE TO EXECUTE SUCH PROTECTION OR FOLLOW SUCH REGULATIONS, EXCEPTION BEING THOSE LOTS IN SUBDIVISION THAT SHOW DOCUMENTATION THAT WASTEWATER DRAINAGE SHALL BE CONNECTED TO A MUNICIPAL SYSTEM..

I, CHAD VAN LAECKEN, PRESIDENT OF VAN LAECKEN PROPERTIES LLC, DO HEREBY CERTIFY THAT THIS REPLAT WILL NOT PLACE ANY EXISTING LOT OR BUILDING IN VIOLATION OF ANY APPLICABLE ORDINANCE, CODE, REGULATION, OR LAW INCLUDING BUT NOT LIMITED TO ZONING, BUILDING, SUBDIVISION, AND FLOOD PREVENTION.

CHAD VAN LAECKEN, PRESIDENT OF VAN LAECKEN PROPERTIES, LLC THIS_____DAY OF_____,20___

STATE OF _____)
)SS
COUNTY OF _____)

ON THIS _____ DAY OF _____, 20___, BEFORE ME, _____THE UNDERSIGNED OFFICER, APPEARED THE INDIVIDUAL CHAD VAN LAECKEN, OF VAN LAECKEN PROPERTIES LLC, AND THAT HE, AS PRESIDENT, BEING AUTHORIZED SO TO DO, EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED, BY SIGNING THE NAME OF THE CORPORATION BY HIMSELF AS PRESIDENT OF VAN LAECKEN PROPERTIES LLC..

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____, 20___.

MY COMMISSION EXPIRES: _____

NOTARY PUBLIC
STATE OF _____

ROAD AUTHORITY CERTIFICATE

I, _____, _____(NAME), OF THE CITY OF MITCHELL, DO HEREBY CERTIFY THAT THIS PLAT HAS BEEN REVIEWED BY ME OR MY AUTHORIZED AGENT AND THAT THIS PLAT IS RECOMMENDED FOR APPROVAL.

AUTHORIZED AGENT SIGNATURE THIS_____DAY OF_____,20

PROJ. NO.: 2407053 DRAWN BY: CHS DATE: 11/1/2024

LOT B1 IN THE NORTH 312.7 FEET OF LOT B OF THOMSEN'S 1ST ADDITION,

IN THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 103 NORTH, RANGE 60 WEST OF THE 5TH PRINCIPAL MERIDIAN, CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA.

RESOLUTION OF CITY PLANNING COMMISSION

WHEREAS, THE PLAT OF LOT B1 IN THE NORTH 312.7 FEET OF LOT B OF THOMSEN'S FIRST ADDITION IN THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 103 NORTH, RANGE 60 WEST OF THE 5TH PRINCIPAL MERIDIAN, CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA, PREPARED BY STEVEN G. ZIMMER, DULY LICENSED LAND SURVEYOR IN AND FOR THE STATE OF SOUTH DAKOTA, HERETOFORE FILED IN THE OFFICE OF THE CITY FINANCE OFFICER OF MITCHELL, SOUTH DAKOTA, AND

WHEREAS, THE CITY PLANNING COMMISSION, IN REGULAR MEETING ASSEMBLED, HAD DULY CONSIDERED SAID PLAT AND FINDS AS A FACT THAT SAID PLAT IS IN CONFORMITY AND DOES NOT CONFLICT WITH THE MASTER PLAN FOR THE CITY OF MITCHELL, SOUTH DAKOTA, HERETOFORE ADOPTED BY THIS COMMISSION;

NOW THEREFORE, BE IT RESOLVED BY THE CITY PLANNING COMMISSION OF MITCHELL, SOUTH DAKOTA, THAT THE LOT B1 IN THE NORTH 312.7 FEET OF LOT B OF THOMSEN'S FIRST ADDITION IN THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 103 NORTH, RANGE 60 WEST OF THE 5TH PRINCIPAL MERIDIAN, CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA, PREPARED BY STEVEN G. ZIMMER, A LAND SURVEYOR, BE AND THE SAME IS HEREBY APPROVED AND ITS ADOPTION BY THE CITY COUNCIL OF THE CITY OF MITCHELL, SOUTH DAKOTA IS HEREBY RECOMMENDED.

THE UNDERSIGNED DOES HEREBY CERTIFY THAT THE FOREGOING RESOLUTION WAS PASSED BY THE CITY PLANNING COMMISSION OF MITCHELL, SOUTH DAKOTA, AT A MEETING HELD ON THE

_____ DAY OF _____, 20___

_____
CHAIRPERSON/VICE CHAIRPERSON OF THE CITY OF PLANNING COMMISSION

RESOLUTION OF CITY COUNCIL

WHEREAS, IT APPEARS THAT THE CITY PLANNING COMMISSION OF THE CITY OF MITCHELL, SOUTH DAKOTA DID DULY CONSIDER AND DID RECOMMEND THE APPROVAL AND ADOPTION OF THE HEREINAFTER DESCRIBED PLAT, AT IS MEETING HELD ON THE _____ DAY OF _____, 2024;

AND

WHEREAS, IT APPEARS FROM AN EXAMINATION OF THE PLAT OF LOT B1 IN THE NORTH 312.7 FEET OF LOT B OF THOMSEN'S FIRST ADDITION IN THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 103 NORTH, RANGE 60 WEST OF THE 5TH PRINCIPAL MERIDIAN, CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA, AS PREPARED BY STEVEN G. ZIMMER, A DULY LICENSED LAND SURVEYOR IN AND FOR THE STATE OF SOUTH DAKOTA, THAT SAID PLAT IS IN ACCORDANCE WITH THE SYSTEM OF STREETS AND ALLEYS SET FORTH IN THE MASTER PLAN ADOPTED BY THE CITY PLANNING COMMISSION OF THE CITY OF MITCHELL, SOUTH DAKOTA, AND THAT SUCH PLAT HAS BEEN PREPARED ACCORDING TO LAW;

THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF MITCHELL, SOUTH DAKOTA, THAT THE PLAT OF LOT B1 IN THE NORTH 312.7 FEET OF LOT B OF THOMSEN'S FIRST ADDITION IN THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 103 NORTH, RANGE 60 WEST OF THE 5TH PRINCIPAL MERIDIAN, CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA, PREPARED BY STEVEN G. ZIMMER, BE AND THE SAME IS HEREBY APPROVED AND THE DESCRIPTION SET FORTH THEREIN AND THE ACCOMPANYING SURVEYOR'S CERTIFICATE SHALL PREVAIL. THE UNDERSIGNED DOES HEREBY CERTIFY THAT THE FOREGOING RESOLUTION WAS PASSED BY THE CITY OF MITCHELL, SOUTH DAKOTA, AT A MEETING HELD ON THE

_____ DAY OF _____, 20___.

_____
FINANCE OFFICER/DEPUTY FINANCE OFFICER
CITY OF MITCHELL

COUNTY TREASURER'S CERTIFICATE

I, THE TREASURER OF DAVISON COUNTY, SOUTH DAKOTA, DO HEREBY CERTIFY THAT ALL TAXES WHICH ARE LIENS UPON ANY LAND SHOWN IN THE ABOVE PLAT AS SHOWN BY THE RECORDS OF MY OFFICE, HAVE BEEN PAID IN FULL.

THIS_____DAY OF_____,20_____.

_____
TREASURER/DEPUTY TREASURER
DAVISON COUNTY, SOUTH DAKOTA

COUNTY DIRECTOR OF EQUALIZATION CERTIFICATE

I, THE DIRECTOR OF EQUALIZATION OF DAVISON COUNTY, SOUTH DAKOTA, DO HEREBY CERTIFY THAT A COPY OF THE ABOVE PLAT HAS BEEN FILED IN MY OFFICE.

THIS_____DAY OF_____,20_____.

_____
DIRECTOR OF EQUALIZATION/DEPUTY DIRECTOR OF EQUALIZATION
DAVISON COUNTY, SOUTH DAKOTA

COUNTY REGISTER OF DEEDS

FILED FOR RECORD THIS _____ DAY OF _____, 20_____, AT

_____ O'CLOCK, _____M., AND RECORDED IN BOOK _____ OF

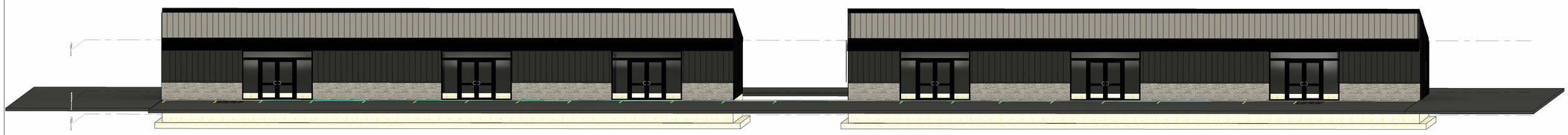
PLATS ON PAGE _____.

_____
REGISTER OF DEEDS/DEPUTY REGISTER OF DEEDS
DAVISON COUNTY, SOUTH DAKOTA

PROJ. NO.: 2407053

1015
1001
COMMERCE ST
N SD HWY 37
N SD HWY 37

SD HWY 37 N
SD HWY 37 S
1300 SHAWD DR
960 COMMERCE ST
COMMERCE ST
1015 COMMERCE ST
1001 COMMERCE ST



1 {3D}

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No.	Description	Date

Owner

Strip Mall

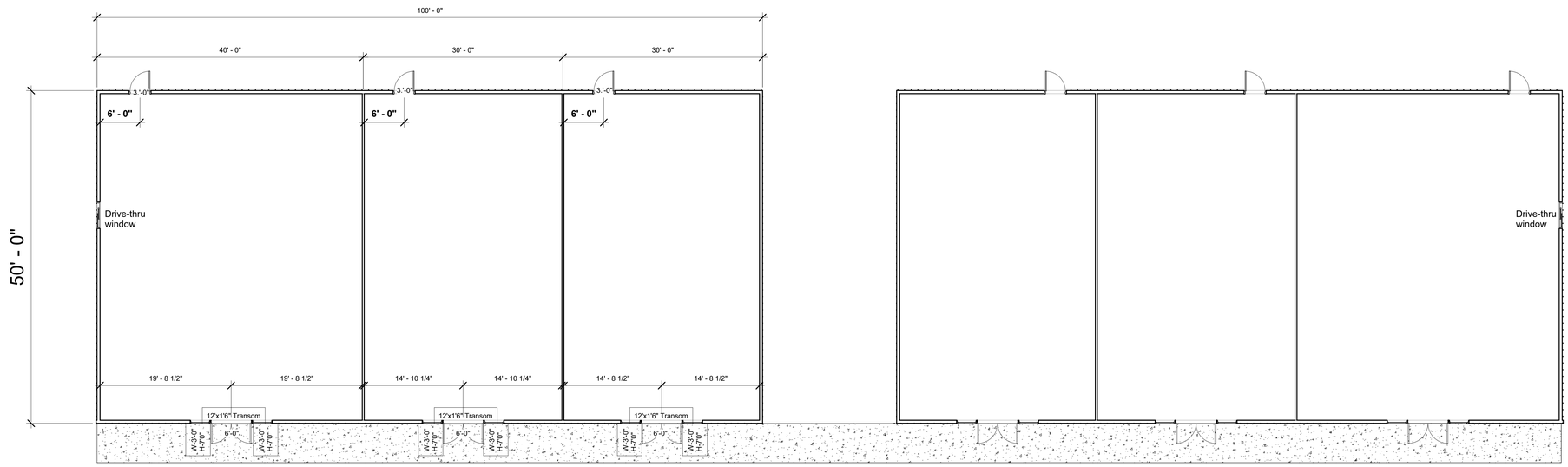
3D

Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker

A101

Scale

11/6/2024 12:02:04 PM



1 T.O Slab
1/8" = 1'-0"

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No.	Description	Date

Owner

Strip Mall

Floor Plan

Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker

A102

Scale	1/8" = 1'-0"

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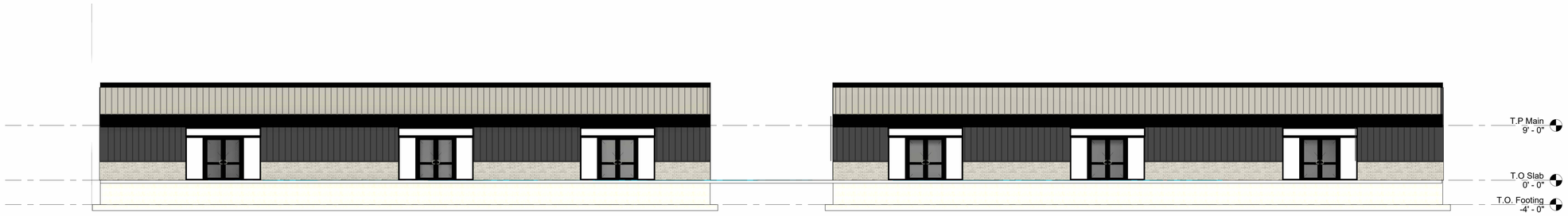
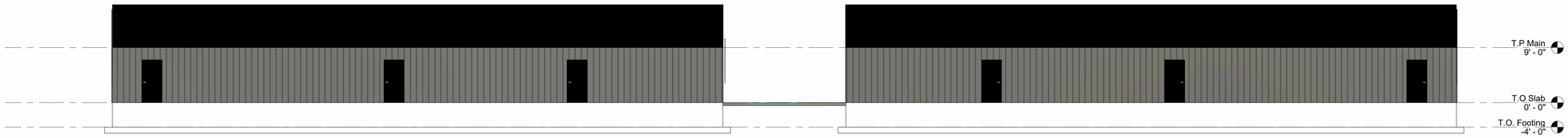
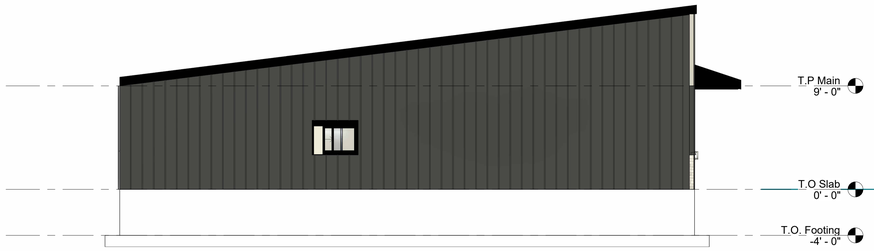


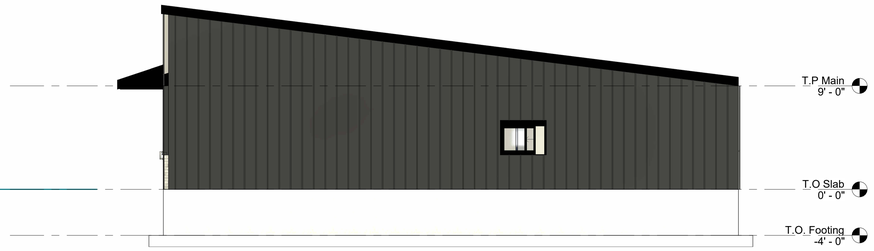
1 Front
1/8" = 1'-0"



2 Back
1/8" = 1'-0"



3 Left
3/16" = 1'-0"



4 Right
3/16" = 1'-0"

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No.	Description	Date

Owner

Strip Mall

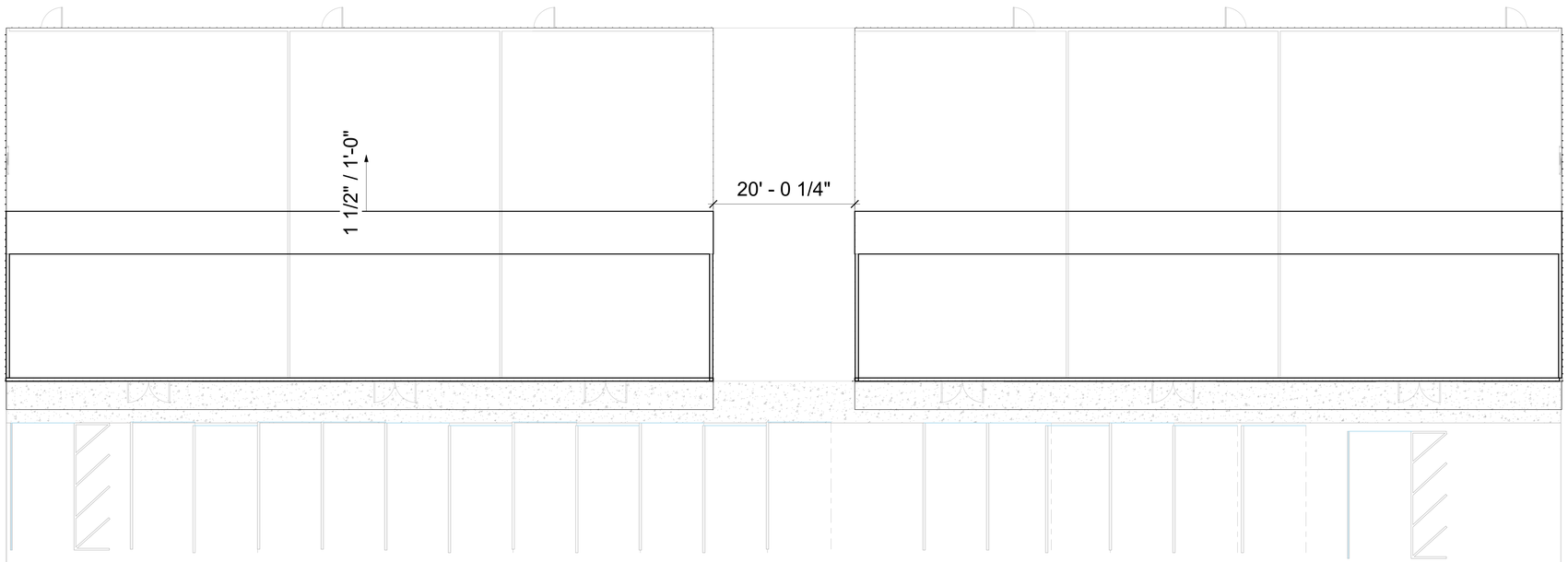
Elevations

Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker

A104

Scale	As indicated

11/6/2024 12:02:29 PM



1 T.P Main
1/8" = 1'-0"

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No.	Description	Date

Owner

Strip Mall

Roof

Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker

A105

Scale	1/8" = 1'-0"

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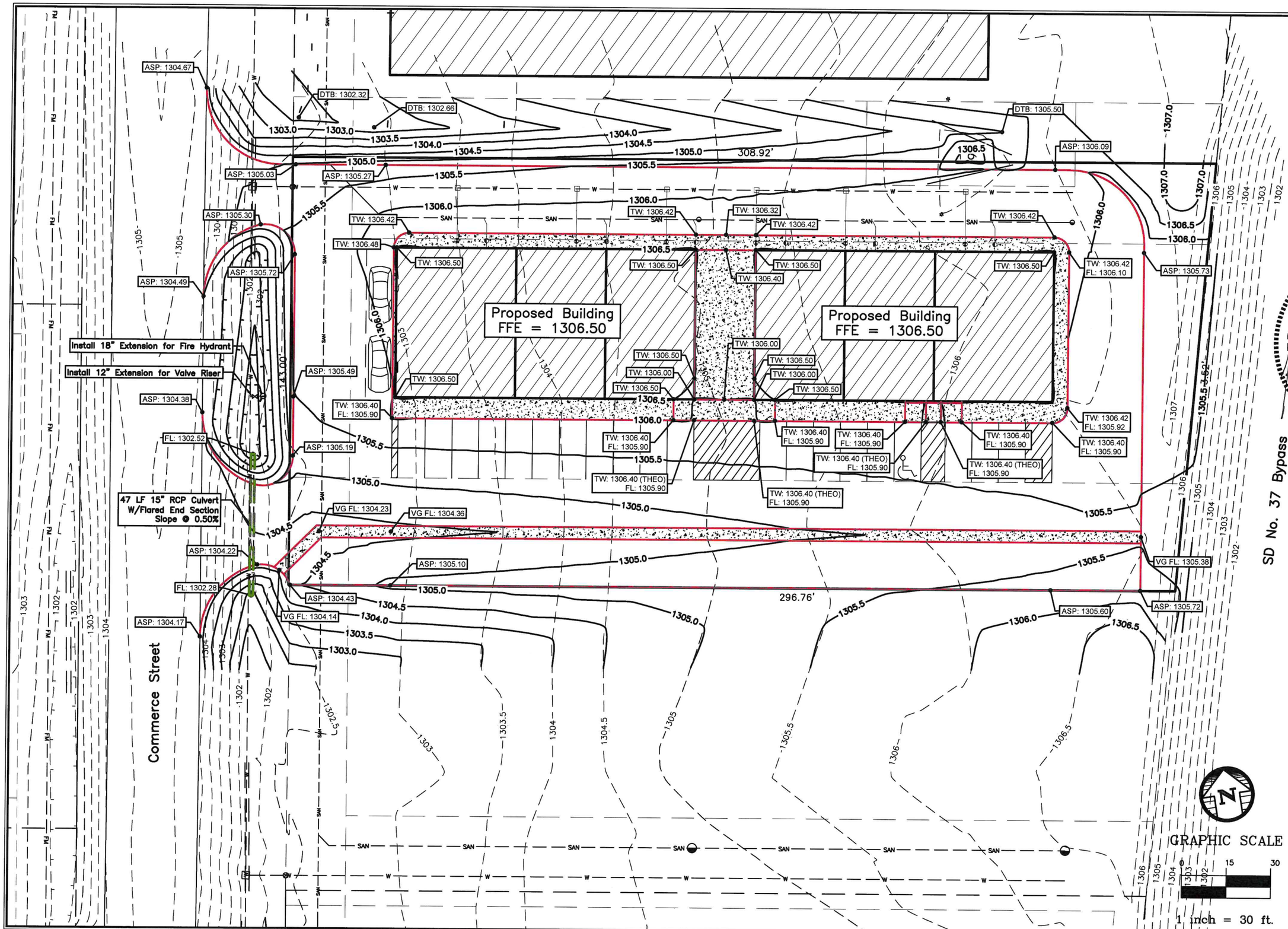


SPN & Associates

Engineers - Planners - Surveyors

2100 North Sanborn Boulevard - P.O. Box 398
Mitchell, South Dakota 57301-0398
Phone: (605) 996-7761 - Fax: (605) 996-0015

Certificate

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Professional Engineer under the laws of the State of South Dakota.

REGISTERED PROFESSIONAL ENGINEER
REG. NO. 8471
JEFFREY P. McCORMICK
SOUTH DAKOTA
11/15/24

Plan Horiz. Scale:	1" = 30'
Drawn By:	NAP
Checked By:	JPM
Date:	10/18/2024
Project No.:	16013
File Name:	16013– CJM Commerce Plaza

Project Name:
COMMERCE PLAZA PHASE 1

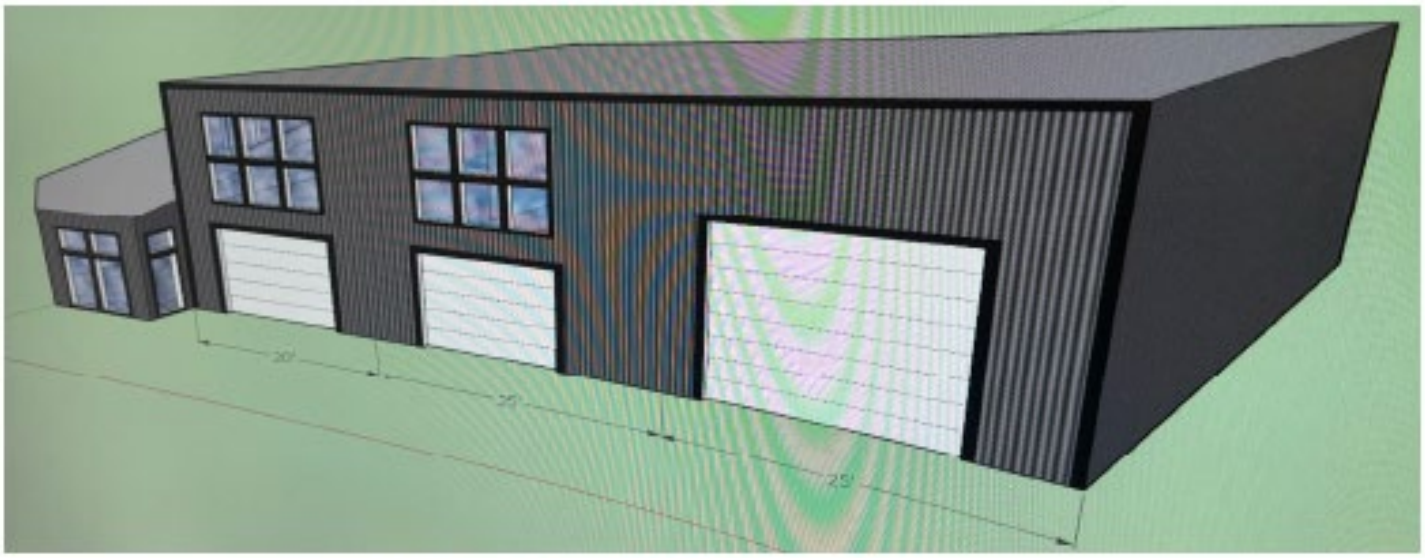
Located in:
Mitchell, South Dakota

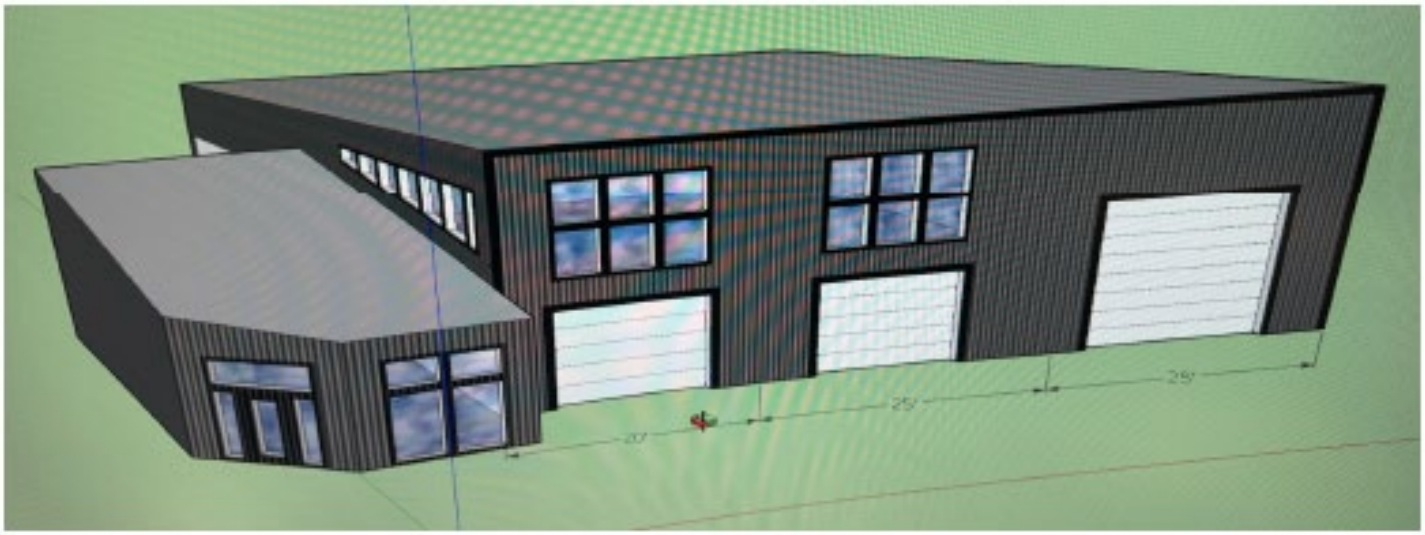
Sheet Name:
Grading Plan

Sheet Number:	Total Sheets:
1	1

2201
MAD Garage LLC
TIF #39
RAMP
2010
FAIROAKS AVE
W SD HWY 37
111
1911
N MAIN ST
SERVICE RD

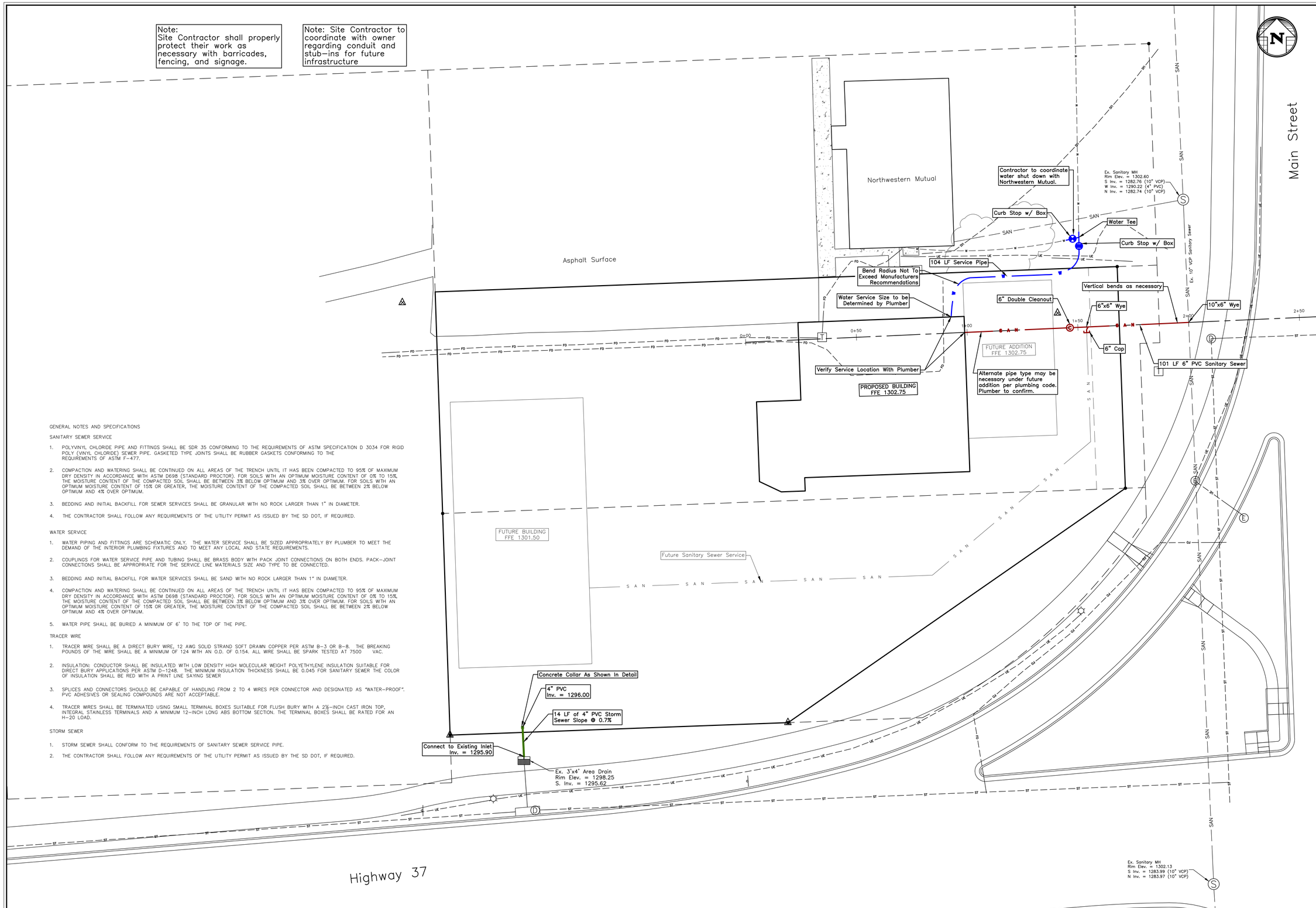
BLVD
101 W 2ND AVE
W 2ND AVE
1911 N MAIN ST
SD HWY 37
2201 N MAIN ST
N SANBORN BLVD
1905 N MAIN ST
SD HWY 37
N MAIN ST
FAIROAKS AVE
2010 N MAIN ST
150 ft


20'
25'
25'


25'
25'
20'

Note:
Site Contractor shall properly protect their work as necessary with barricades, fencing, and signage.

Note: Site Contractor to coordinate with owner regarding conduit and stub-ins for future infrastructure



GENERAL NOTES AND SPECIFICATIONS

SANITARY SEWER SERVICE

1. POLYVINYL CHLORIDE PIPE AND FITTINGS SHALL BE SDR 35 CONFORMING TO THE REQUIREMENTS OF ASTM SPECIFICATION D 3034 FOR RIGID POLY (VINYL CHLORIDE) SEWER PIPE. GASKETED TYPE JOINTS SHALL BE RUBBER GASKETS CONFORMING TO THE REQUIREMENTS OF ASTM F-477.
2. COMPACTION AND WATERING SHALL BE CONTINUED ON ALL AREAS OF THE TRENCH UNTIL IT HAS BEEN COMPACTED TO 95% OF MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D698 (STANDARD PROCTOR). FOR SOILS WITH AN OPTIMUM MOISTURE CONTENT OF 0% TO 15%, THE MOISTURE CONTENT OF THE COMPACTED SOIL SHALL BE BETWEEN 3% BELOW OPTIMUM AND 3% OVER OPTIMUM. FOR SOILS WITH AN OPTIMUM MOISTURE CONTENT OF 15% OR GREATER, THE MOISTURE CONTENT OF THE COMPACTED SOIL SHALL BE BETWEEN 2% BELOW OPTIMUM AND 4% OVER OPTIMUM.
3. BEDDING AND INITIAL BACKFILL FOR SEWER SERVICES SHALL BE GRANULAR WITH NO ROCK LARGER THAN 1" IN DIAMETER.
4. THE CONTRACTOR SHALL FOLLOW ANY REQUIREMENTS OF THE UTILITY PERMIT AS ISSUED BY THE SD DOT, IF REQUIRED.

WATER SERVICE

1. WATER PIPING AND FITTINGS ARE SCHEMATIC ONLY. THE WATER SERVICE SHALL BE SIZED APPROPRIATELY BY PLUMBER TO MEET THE DEMAND OF THE INTERIOR PLUMBING FIXTURES AND TO MEET ANY LOCAL AND STATE REQUIREMENTS.
2. COUPLINGS FOR WATER SERVICE PIPE AND TUBING SHALL BE BRASS BODY WITH PACK JOINT CONNECTIONS ON BOTH ENDS. PACK-JOINT CONNECTIONS SHALL BE APPROPRIATE FOR THE SERVICE LINE MATERIALS SIZE AND TYPE TO BE CONNECTED.
3. BEDDING AND INITIAL BACKFILL FOR WATER SERVICES SHALL BE SAND WITH NO ROCK LARGER THAN 1" IN DIAMETER.
4. COMPACTION AND WATERING SHALL BE CONTINUED ON ALL AREAS OF THE TRENCH UNTIL IT HAS BEEN COMPACTED TO 95% OF MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D698 (STANDARD PROCTOR). FOR SOILS WITH AN OPTIMUM MOISTURE CONTENT OF 0% TO 15%, THE MOISTURE CONTENT OF THE COMPACTED SOIL SHALL BE BETWEEN 3% BELOW OPTIMUM AND 3% OVER OPTIMUM. FOR SOILS WITH AN OPTIMUM MOISTURE CONTENT OF 15% OR GREATER, THE MOISTURE CONTENT OF THE COMPACTED SOIL SHALL BE BETWEEN 2% BELOW OPTIMUM AND 4% OVER OPTIMUM.
5. WATER PIPE SHALL BE BURIED A MINIMUM OF 6' TO THE TOP OF THE PIPE.

TRACER WIRE

1. TRACER WIRE SHALL BE A DIRECT BURY WIRE, 12 AWG SOLID STRAND SOFT DRAWN COPPER PER ASTM B-3 OR B-8. THE BREAKING POUNDS OF THE WIRE SHALL BE A MINIMUM OF 124 WITH AN O.D. OF 0.154. ALL WIRE SHALL BE SPARK TESTED AT 7500 VAC.
2. INSULATION: CONDUCTOR SHALL BE INSULATED WITH LOW DENSITY HIGH MOLECULAR WEIGHT POLYETHYLENE INSULATION SUITABLE FOR DIRECT BURY APPLICATIONS PER ASTM D-1248. THE MINIMUM INSULATION THICKNESS SHALL BE 0.045 FOR SANITARY SEWER THE COLOR OF INSULATION SHALL BE RED WITH A PRINT LINE SAYING SEWER
3. SPLICES AND CONNECTORS SHOULD BE CAPABLE OF HANDLING FROM 2 TO 4 WIRES PER CONNECTOR AND DESIGNATED AS "WATER-PROOF". PVC ADHESIVES OR SEALING COMPOUNDS ARE NOT ACCEPTABLE.
4. TRACER WIRES SHALL BE TERMINATED USING SMALL TERMINAL BOXES SUITABLE FOR FLUSH BURY WITH A 2½-INCH CAST IRON TOP, INTEGRAL STAINLESS TERMINALS AND A MINIMUM 12-INCH LONG ABS BOTTOM SECTION. THE TERMINAL BOXES SHALL BE RATED FOR AN H-20 LOAD.

STORM SEWER

1. STORM SEWER SHALL CONFORM TO THE REQUIREMENTS OF SANITARY SEWER SERVICE PIPE.
2. THE CONTRACTOR SHALL FOLLOW ANY REQUIREMENTS OF THE UTILITY PERMIT AS ISSUED BY THE SD DOT, IF REQUIRED.

SPN & Associates
Engineers - Planners - Surveyors
2100 North Sanborn Boulevard - P.O. Box 398
Mitchell, South Dakota 57301-0398
Phone: (605) 996-7761 - Fax: (605) 996-0015

Certificate

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Professional Engineer under the laws of the State of South Dakota.

REGISTERED PROFESSIONAL ENGINEER
REG. NO. 15046
JACOB D. SONNE
SOUTH DAKOTA
11-20-24

22x34 Horiz. Scale:	1" = 20'
11x17 Horiz. Scale:	1" = 40'
Drawn By:	RLA
Checked By:	JDS
Date:	11/20/2024
Project No.:	16608
File Name:	16608-Mad Garage

Project Name:
Mad Garage Site Improvements

Located in:
Mitchell, South Dakota

Sheet Name:
Utility Plans

Sheet Number:	Total Sheets:
3	9

Note:
Site Contractor shall properly protect their work as necessary with barricades, fencing, and signage.

Note: Surfacing is expected to be completed in phases. Confirm with owner the extents of paving to be installed.

Note: Power and communications lines are shown schematically for planning purposes only. Location, depth, conduit diameter, and number of conduits shall be coordinated between the Owner and respective utility companies.

GENERAL NOTES AND SPECIFICATIONS

CONCRETE SURFACING

1. CONCRETE SURFACING SHALL BE INSTALLED AT THE LOCATIONS AND AT THE ELEVATIONS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER AND OWNER. CONCRETE SURFACES SHALL BE CURED AND PROTECTED IN SUFFICIENT TIME FROM PLACEMENT (NOT LESS THAN THREE (3) DAYS). THE CONCRETE SURFACING SHALL HAVE A BROOM FINISH.

2. CONSTRUCTION JOINTS SHALL BE PROVIDED AT THE INTERVALS OF NO GREATER THAN 12 FEET OR AS DIRECTED BY THE PROJECT ENGINEER. CONSTRUCTION JOINTS SHALL CONSIST OF A GROOVE OF AT LEAST ONE-THIRD (1/3) THE DEPTH OF THE PAVEMENT SAWED OR TOOLED IN GREEN CONCRETE. ALL EXPANSION AND CONSTRUCTION JOINTS SHALL BE FILLED FLUSH TO THE SURFACE WITH JOINT SEALING COMPOUND. TOOLED JOINTS WILL NOT NEED TO BE SEALED WITH JOINT SEALING COMPOUND.

3. CONCRETE USED FOR SIDEWALKS AND CURB & GUTTER SHALL BE CLASS M6 AND CONCRETE USED FOR PAVEMENT SHALL BE CLASS A40 AND SHALL CONFORM TO THE CONSTRUCTION REQUIREMENTS OF THE 2015 EDITION OF THE SD DOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES. ALL EXTERIOR CONCRETE SURFACES SHALL HAVE A LIGHT BROOM FINISH UNLESS OTHERWISE DIRECTED. THE 28-DAY COMPRESSIVE STRENGTH SHALL NOT BE LESS THAN 4,000 PSI.

4. PREFORMED EXPANSION JOINT FILLER SHALL CONFORM TO THE REQUIREMENTS OF AASHTO M213. EXPANSION JOINTS SHALL BE INSTALLED WHEN EXTERIOR CONCRETE IS POURED AGAINST FOUNDATIONS. ALL EXPANSION JOINTS SHALL BE SEALED WITH LOW MODULUS SILICONE SEALANT CONFORMING TO THE REQUIREMENTS OF THE 2015 EDITION OF THE SD DOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES. JOINT SEALANT SHALL BE INSTALLED IN SUCH A MANNER AS TO FILL THE ENTIRE VOID WHERE IT IS BEING APPLIED. JOINT SEALANT SHALL BE FINISHED OFF TO HAVE A SMOOTH SLIGHTLY CONCAVE SURFACE. JOINT SEALANT THAT DOES NOT PROPERLY ADHERE TO THE SURROUNDING SURFACES SHALL BE REMOVED AND REPLACED AT NO ADDITIONAL COST TO THE OWNER.

GRAVEL BASE COURSE, SURFACING AND CUSHION

1. THE AGGREGATE FOR GRANULAR BASE COURSE, SURFACING AND CUSHION SHALL CONFORM TO THE GRADATIONS SHOWN IN THE 2015 EDITION OF THE SD DOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES. SAMPLING AND TESTING OF THE MATERIALS SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING METHODS AND PROCEDURES.

2. GRAVEL BASE COURSE, SURFACING AND CUSHION SHALL BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY. THE MAXIMUM DRY DENSITY SHALL BE DETERMINED BY SD 104 METHOD 4. FINAL GRADING BEFORE INSTALLATION OF THE PAVEMENT SHALL PROVIDE BASE COURSE WITHIN 0.04± OF DESIGN ELEVATION.

SIDEWALK

1. SIDEWALKS SHALL BE INSTALLED AT THE LOCATIONS AND AT THE ELEVATIONS SHOWN ON THE PLANS. CONTRACTION JOINT SHALL BE CONSTRUCTED SUCH THAT WHEN COMPLETED, THE PANELS FORMED BY THE JOINTING WILL BE SQUARE IN SHAPE UNLESS OTHERWISE DIRECTED BY THE PROJECT MANAGER. EXPANSIONS SHALL BE INSTALLED BETWEEN THE SIDEWALK AND BUILDING, AROUND ANY STRUCTURES LOCATED WITHIN THE SIDEWALK AND AT INTERVALS NOT GREATER THAN 150'. ALL EXTERIOR CONCRETE SURFACES SHALL HAVE A LIGHT BROOM FINISH UNLESS OTHERWISE DIRECTED. THE 28-DAY COMPRESSIVE STRENGTH SHALL NOT BE LESS THAN 4,000 PSI. CONCRETE TESTING SHALL BE COORDINATED WITH CORE ENGINEERING.
2. SIDEWALK SHALL BE INSTALLED AT THE GRADES REQUIRED BY THE AMERICANS WITH DISABILITIES ACT. SPECIAL CARE SHALL BE TAKEN TO MAINTAIN A CROSS SLOPE OF LESS THAN 2%.

EARTHWORK AND SITE GRADING

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING EARTHWORK AND GRADING ITEMS:
a. STRIPPING, STOCKPILE, PLACING AND GRADING TOPSOIL. THE CONTRACTOR SHALL NOTE THAT THE QUANTITY OF TOPSOIL PLACED IS LESS THAN THE QUANTITY OF TOPSOIL TO BE REMOVED AND BACKFILLED. TOPSOIL NOT NEEDED ON THE SITE SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR AT A LOCATION APPROVED OF BY THE OWNER. THE OWNER HAS THE RIGHT TO RETAIN OWNERSHIP OF ANY REMOVED MATERIALS. TOPSOIL SHALL NOT BE USED AS BACKFILL BENEATH CONCRETE OR ASPHALT SURFACING AREAS.

b. EXCAVATION, FILLING, COMPACTION, ROUGH AND FINAL GRADING OF SUBGRADE AT ASPHALT AND CONCRETE PAVEMENT AREAS.

c. PLACEMENT, COMPACTION, ROUGH AND FINAL GRADING OF BASE COURSE AT CONCRETE AND ASPHALT PAVEMENT AREAS.

2. THE SUBGRADE SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 6 INCHES AND COMPACTED TO AT LEAST 95% OF THE STANDARD PROCTOR PRIOR TO INSTALLATION OF THE BASE COURSE. MOISTURE SHALL BE WITHIN 3% OF OPTIMUM WHEN OPTIMUM MOISTURE IS BETWEEN 0 AND 15% MOISTURE SHALL BE BETWEEN MINUS 2% AND PLUS 4% OPTIMUM FOR SOILS WITH OPTIMUM MOISTURE GREATER THAN 15%.

ASPHALT SURFACING AND CONCRETE SURFACING

1. AGGREGATE FOR ASPHALT CONCRETE SHALL CONFORM TO CLASS G, TYPE 2 AS SPECIFIED IN SECTION 880 IN THE SOUTH DAKOTA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES, 2015 EDITION.

2. THE ASPHALT CONCRETE BITUMINOUS MATERIAL SHALL MEET THE REQUIREMENTS OF AASHTO SPECIFICATIONS. THE ASPHALT CEMENT SHALL BE PERFORMANCE GRADE 64-22. THE MATERIAL SHALL MEET THE NEGATIVE SPOT TEST AS SPECIFIED IN AASHTO METHODS.

3. ASPHALT USED FOR TACK COAT SHALL BE SS-1H OR CSS-1H ACCORDING TO SECTION 890 – ASPHALT MATERIAL IN THE SOUTH DAKOTA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES, 2015 EDITION AND LATEST REVISIONS THERETO.

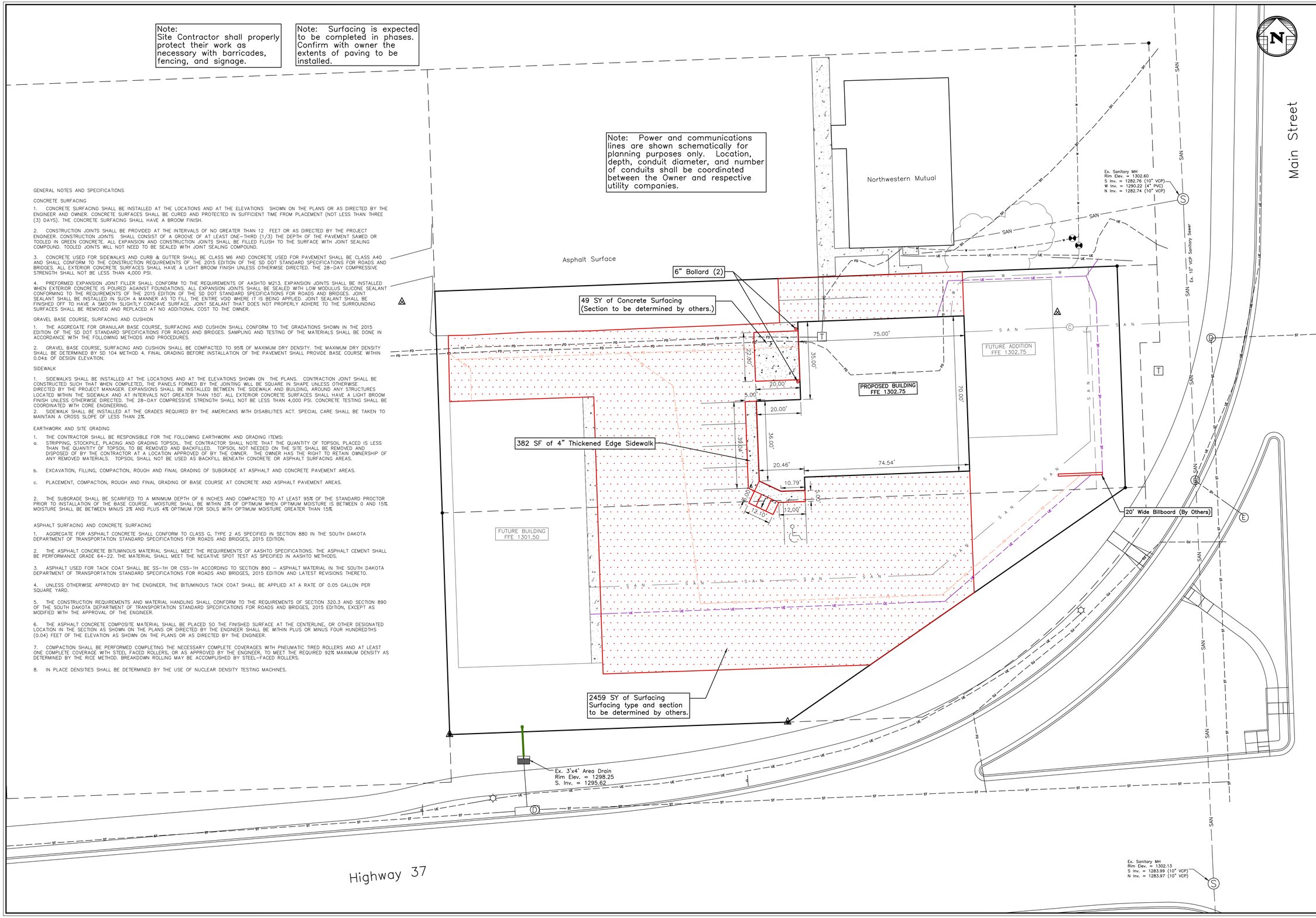
4. UNLESS OTHERWISE APPROVED BY THE ENGINEER, THE BITUMINOUS TACK COAT SHALL BE APPLIED AT A RATE OF 0.05 GALLON PER SQUARE YARD.

5. THE CONSTRUCTION REQUIREMENTS AND MATERIAL HANDLING SHALL CONFORM TO THE REQUIREMENTS OF SECTION 320.3 AND SECTION 890 OF THE SOUTH DAKOTA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES, 2015 EDITION, EXCEPT AS MODIFIED WITH THE APPROVAL OF THE ENGINEER.

6. THE ASPHALT CONCRETE COMPOSITE MATERIAL SHALL BE PLACED SO THE FINISHED SURFACE AT THE CENTERLINE, OR OTHER DESIGNATED LOCATION IN THE SECTION AS SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER SHALL BE WITHIN PLUS OR MINUS FOUR HUNDREDTHS (0.04) FEET OF THE ELEVATION AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.

7. COMPACTION SHALL BE PERFORMED COMPLETING THE NECESSARY COMPLETE COVERAGES WITH PNEUMATIC TIRED ROLLERS AND AT LEAST ONE COMPLETE COVERAGE WITH STEEL FACED ROLLERS, OR AS APPROVED BY THE ENGINEER, TO MEET THE REQUIRED 92% MAXIMUM DENSITY AS DETERMINED BY THE RICE METHOD. BREAKDOWN ROLLING MAY BE ACCOMPLISHED BY STEEL-FACED ROLLERS.

8. IN PLACE DENSITIES SHALL BE DETERMINED BY THE USE OF NUCLEAR DENSITY TESTING MACHINES.



SPN & Associates
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Phone: (605) 996-7761 - Fax: (605) 996-0015

Certificate

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Professional Engineer under the laws of the State of South Dakota.

REGISTERED PROFESSIONAL ENGINEER
REG. NO. 15046
JACOB D. SONNE
SOUTH DAKOTA
11-20-24

22x34 Horiz. Scale:	1" = 20'
11x17 Horiz. Scale:	1" = 40'
Drawn By:	RLA
Checked By:	JDS
Date:	11/20/2024
Project No.:	16608
File Name:	16608-Mad Garage

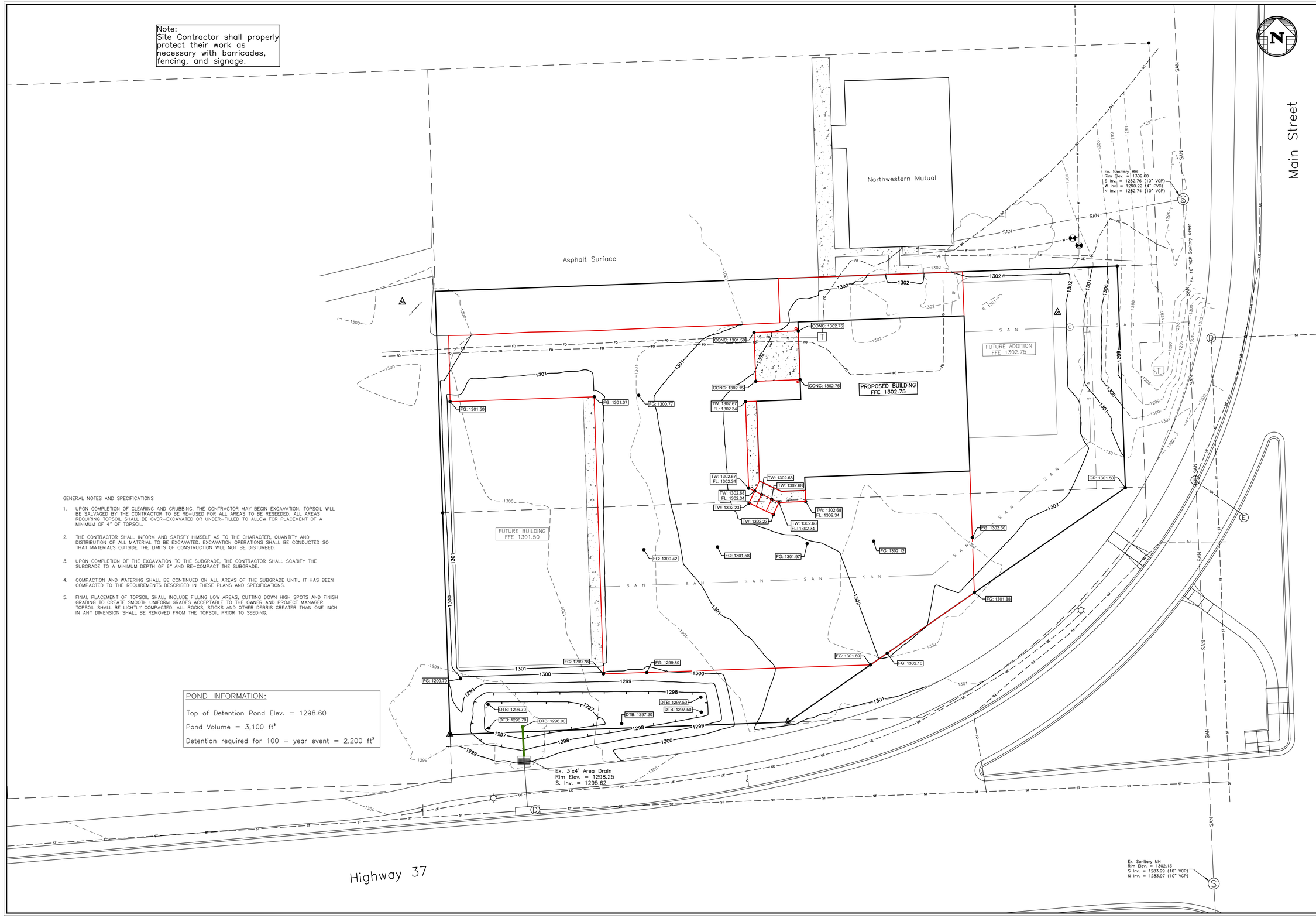
Project Name:
Mad Garage Site Improvements

Located in:
Mitchell, South Dakota

Sheet Name:
Site Plan

Sheet Number:	Total Sheets:
5	9

Note:
Site Contractor shall properly protect their work as necessary with barricades, fencing, and signage.



GENERAL NOTES AND SPECIFICATIONS

1. UPON COMPLETION OF CLEARING AND GRUBBING, THE CONTRACTOR MAY BEGIN EXCAVATION. TOPSOIL WILL BE SALVAGED BY THE CONTRACTOR TO BE RE-USED FOR ALL AREAS TO BE RESEEDED. ALL AREAS REQUIRING TOPSOIL SHALL BE OVER-EXCAVATED OR UNDER-FILLED TO ALLOW FOR PLACEMENT OF A MINIMUM OF 4" OF TOPSOIL.
2. THE CONTRACTOR SHALL INFORM AND SATISFY HIMSELF AS TO THE CHARACTER, QUANTITY AND DISTRIBUTION OF ALL MATERIAL TO BE EXCAVATED. EXCAVATION OPERATIONS SHALL BE CONDUCTED SO THAT MATERIALS OUTSIDE THE LIMITS OF CONSTRUCTION WILL NOT BE DISTURBED.
3. UPON COMPLETION OF THE EXCAVATION TO THE SUBGRADE, THE CONTRACTOR SHALL SCARIFY THE SUBGRADE TO A MINIMUM DEPTH OF 6" AND RE-COMPACT THE SUBGRADE.
4. COMPACTION AND WATERING SHALL BE CONTINUED ON ALL AREAS OF THE SUBGRADE UNTIL IT HAS BEEN COMPACTED TO THE REQUIREMENTS DESCRIBED IN THESE PLANS AND SPECIFICATIONS.
5. FINAL PLACEMENT OF TOPSOIL SHALL INCLUDE FILLING LOW AREAS, CUTTING DOWN HIGH SPOTS AND FINISH GRADING TO CREATE SMOOTH UNIFORM GRADES ACCEPTABLE TO THE OWNER AND PROJECT MANAGER. TOPSOIL SHALL BE LIGHTLY COMPACTED. ALL ROCKS, STICKS AND OTHER DEBRIS GREATER THAN ONE INCH IN ANY DIMENSION SHALL BE REMOVED FROM THE TOPSOIL PRIOR TO SEEDING.

POND INFORMATION:

Top of Detention Pond Elev. = 1298.60

Pond Volume = 3,100 ft^3

Detention required for 100 – year event = 2,200 ft^3

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Sheet Name:
Grading Plan

Sheet Number:	Total Sheets:
6	9

GENERAL NOTES AND SPECIFICATIONS

1. NO WORK SHALL BEGIN UNTIL THE GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES HAS BEEN OBTAINED.

2. THE CONTRACTOR WILL BE RESPONSIBLE TO COMPLETE THE MONITORING, REPORTING, AND MAINTENANCE OF THE STORM WATER POLLUTION PREVENTION PLAN AS REQUIRED BY THE STORM WATER DISCHARGE PERMIT.

3. ADDITIONAL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED AS NECESSARY TO PREVENT SEDIMENT AND POLLUTANTS FROM LEAVING THE SITE.

4. THE CONTRACTOR SHALL PROVIDE FRESH, CLEAN, NEW CROP SEED, COMPLYING WITH THE TOLERANCES FOR PURITY AND GERMINATION ESTABLISHED BY THE OFFICIAL SEED ANALYSIS OF NORTH AMERICA AND THE SOUTH DAKOTA SEED LAW. SEED SHALL NOT EXCEED 1% WEED CONTENT. PROVIDE SEED OF THE GRASS SPECIES AND PROPORTIONS AS FOLLOWS, OR APPROVED EQUAL:

Grass Variety	% of Mix (By Weight/Pure Live Seed)
Kentucky Bluegrass	20
Perennial Ryegrass	20
Creeping Red Fescue	20
Chewings Fescue	20
Alkali Grass	20

5. FERTILIZER SHALL BE PLACED AS RECOMMENDED BY THE SEEDER.

6. BONDED FIBER MATRIX SHALL CONSIST OF A CONTINUOUS LAYER OF ELONGATED FIBER STRANDS HELD TOGETHER BY A WATER RESISTENT BONDING AGENT. THE PRODUCT SHALL BE 100% BIODEGRADABLE AND COMPOSED OF 90% WOOD FIBER, 9% NATURAL BINDER AND 1% ORGANIC AND NIMERAL ACTIVATORS (ALL BY WEIGHT).

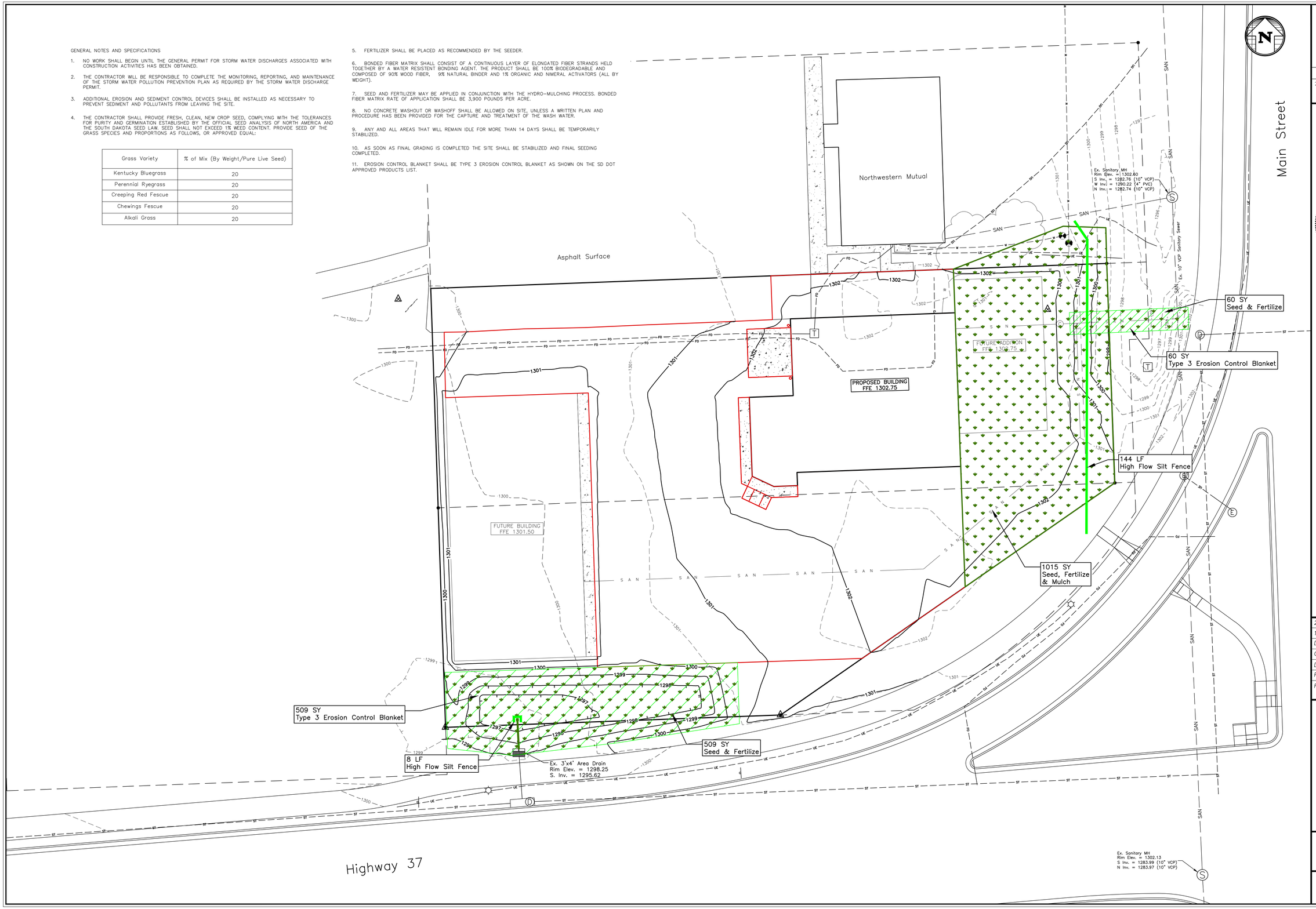
7. SEED AND FERTILIZER MAY BE APPLIED IN CONJUNCTION WITH THE HYDRO-MULCHING PROCESS. BONDED FIBER MATRIX RATE OF APPLICATION SHALL BE 3,900 POUNDS PER ACRE.

8. NO CONCRETE WASHOUT OR WASHOFF SHALL BE ALLOWED ON SITE, UNLESS A WRITTEN PLAN AND PROCEDURE HAS BEEN PROVIDED FOR THE CAPTURE AND TREATMENT OF THE WASH WATER.

9. ANY AND ALL AREAS THAT WILL REMAIN IDLE FOR MORE THAN 14 DAYS SHALL BE TEMPORARILY STABILIZED.

10. AS SOON AS FINAL GRADING IS COMPLETED THE SITE SHALL BE STABILIZED AND FINAL SEEDING COMPLETED.

11. EROSION CONTROL BLANKET SHALL BE TYPE 3 EROSION CONTROL BLANKET AS SHOWN ON THE SD DOT APPROVED PRODUCTS LIST.



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Located in:
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Sheet Name:
Erosion Control Plan

Sheet Number: 7

Total Sheets: 9