



Planning Commission 12-9-25 Agenda
City Council Chambers, City Hall, 612 N. Main Street
December 9, 2024

- 1. 12:00 PM Call to Order**
- 2. Roll Call**
- 3. Declaration Of Conflicts Of Interests**
- 4. Approve Agenda**
- 5. Approval of Previous Minutes: November 25, 2024**
- 6. Schedule Next Meeting: January 13, 2025**
- 7. Plan Approval: MAD Garage LLC**
2100 Block of N Main St, zoned Highway Oriented Business District
- 8. Plat: CJM Consulting Inc**
Plat of Lot 3, Block 6 of the Woods First Addition, a subdivision of the E 1/2 of the SW 1/4 of Section 23, T 103 N, R 60 W of the 5th P.M., City of Mitchell, Davison County, South Dakota
- 9. Other Business:**
- 10. Public Input:**
If you need to address the Board on an item that was not on the agenda, excluding personnel items, please come forward to the podium and state your name and your concern. Presentations are limited to three minutes. Items will be considered but no action will be taken at this time.
- 11. Adjourn**

Individuals with disabilities who require special assistance to take part in this meeting may contact one of the following at City Hall (605) 995-8420 at least 24 hours prior to the meeting with requests for assistance: Human Resources Officer or the City Administrator.



Planning Commission 11-25-25
City Council Chambers, City Hall, 612 N. Main Street
November 25, 2024

1. Call to Order

Vice Chairperson Osterloo called the November 25, 2024 City Planning Commission Meeting to order at 12:00 P.M. noon in the Council Chambers, City Hall, 612 N Main Street.

2. Roll Call

Quorum is met, simple majority vote required for all items.

Present: Doescher, Havlik, Osterloo, Schreurs, Sonne.

Absent: Genzlinger, Jirsa, Schmitz.

Staff Present: Dammann, Hegg, Jenniges, J Johnson, Sandoval, Schroeder.

3. Declaration Of Conflicts Of Interests

Sonne item #10.

4. Approve Agenda

Motion by Havlik, seconded by Sonne to approve the amended agenda removing item #10 for lack of quorum. All present voting aye; motion carried.

5. Approval of Previous Minutes: November 12, 2024

Motion by Havlik, seconded by Sonne to approve the proposed minutes of the November 12, 2024 Planning Commission Meeting. All present voting aye; motion carried.

6. Schedule Next Meeting: December 9, 2024

Motion by Sonne, seconded by Havlik to set the date for the next Planning Commission Meeting for December 9, 2024. All present voting aye; motion carried.

7. Plat: CJM Consulting Inc

Plat of Lot 4, Block 6 of the Woods First Addition, a subdivision of the E 1/2 of the SW 1/4 of Section 23, T 103 N, R 60 W of the 5th P.M., City of Mitchell, Davison County, South Dakota.

Jenniges explained this follows the master plan for the area. It does meet zoning requirements for R4. The applicant was present to answer questions.

Motion by Sonne, seconded by Schreurs to approve the plat. All present voting aye; motion carried.

8. Plat: Van Laecken Properties LLC

Plat of Lot B1 in the North 312.7 Feet of Lot B of Thomsen's 1st Addition, in the Southeast Quarter of the Southwest Quarter of Section 28, Township 103 North, Range 60 West of the 5th Principal Meridian, City of Mitchell, Davison County, South Dakota.

Jenniges explained the applicant would like to plat off the northern portion of his land for a possible business. It does meet zoning requirements for Industrial zoning. The applicant was not present to answer questions.

Motion by Havlik, seconded by Schreurs to approve the plat. All present voting aye; motion carried.

9. Plan Approval: CJM Consulting Inc

Jenniges explained the GIS of the area which was platted a meeting or two ago. The applicant would like to build two 3-unit buildings. The buildings meet the required setbacks. Also the required parking ordinance is met as well. The site layout was included in the packet. The applicant was present to answer questions.

Havlik questioned the timeline on the project. The applicant answered they would like to get started right away and might be doing some dirt work already.

Motion by Havlik, seconded by Schreurs to approve the plan. All present voting aye; motion carried.

10. Plan Approval: MAD Garage LLC

Item removed for lack of quorum (no action taken, moved to next meeting on December 9, 2024).

11. Other Business:

None.

12. Public Input:

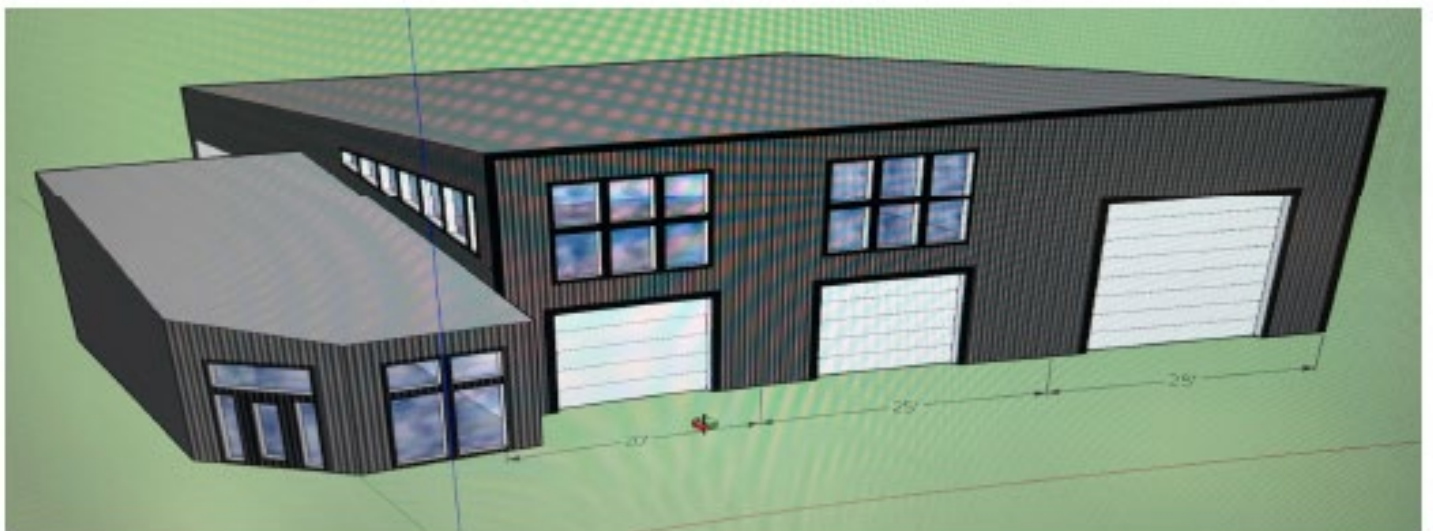
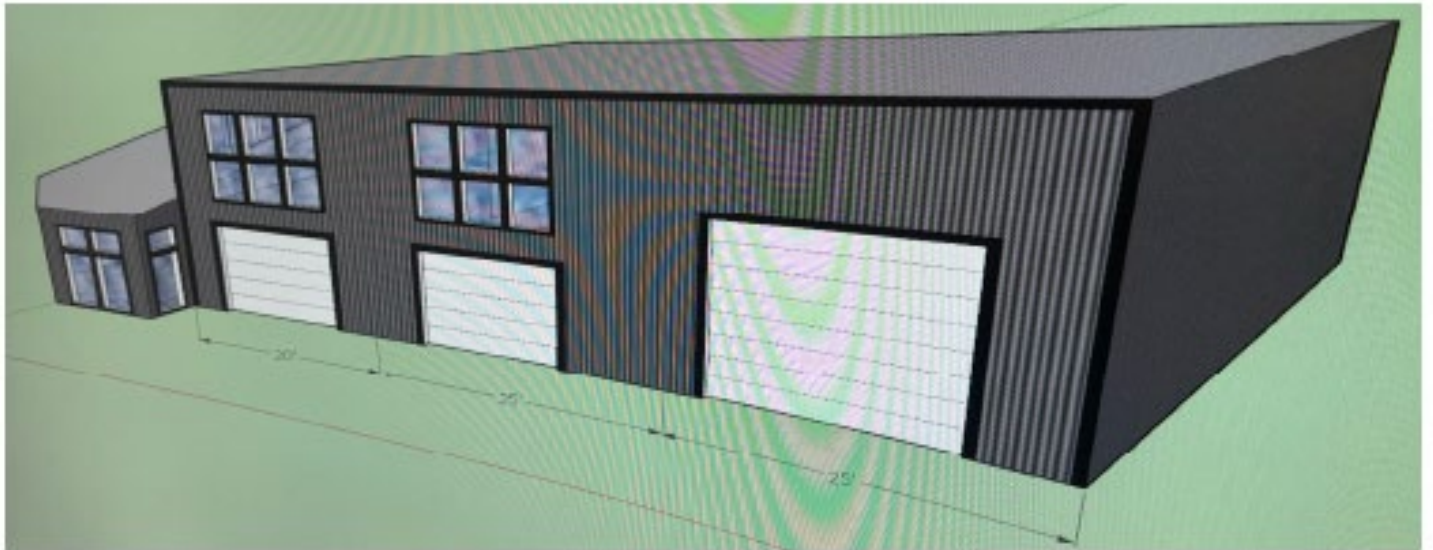
None.

13. Adjourn

Vice Chairperson Osterloo adjourned the meeting at 12:06 P.M.

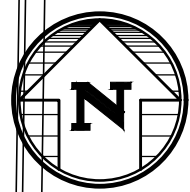
Jon Osterloo
Planning Commission Vice Chairperson





Note:
Site Contractor shall properly
protect their work as
necessary with barricades,
fencing, and signage.

Note: Site Contractor to
coordinate with owner
regarding conduit and
stub-ins for future
infrastructure

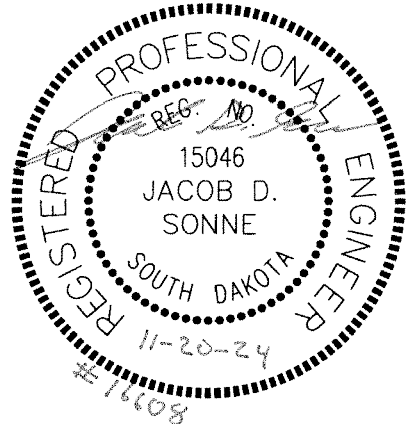


Main Street

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I hereby certify that this
plan, specification, or report
was prepared by me or
under my direct supervision
and that I am a duly
Registered Professional
Engineer under the laws of
the State of South Dakota.



GENERAL NOTES AND SPECIFICATIONS

SANITARY SEWER SERVICE

- POLYVINYL CHLORIDE PIPE AND FITTINGS SHALL BE SDR 35 CONFORMING TO THE REQUIREMENTS OF ASTM SPECIFICATION D 3034 FOR RIGID POLY (VINYL CHLORIDE) SEWER PIPE. GASKETED TYPE JOINTS SHALL BE RUBBER GASKETS CONFORMING TO THE REQUIREMENTS OF ASTM F-477.
- COMPACTION AND WATERING SHALL BE CONTINUED ON ALL AREAS OF THE TRENCH UNTIL IT HAS BEEN COMPACTED TO 95% OF MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D698 (STANDARD PROCTOR). FOR SOILS WITH AN OPTIMUM MOISTURE CONTENT OF 0% TO 15%, THE MOISTURE CONTENT OF THE COMPACTED SOIL SHALL BE BETWEEN 3% BELOW OPTIMUM AND 3% OVER OPTIMUM. FOR SOILS WITH AN OPTIMUM MOISTURE CONTENT OF 15% OR GREATER, THE MOISTURE CONTENT OF THE COMPACTED SOIL SHALL BE BETWEEN 2% BELOW OPTIMUM AND 4% OVER OPTIMUM.
- BEDDING AND INITIAL BACKFILL FOR SEWER SERVICES SHALL BE GRANULAR WITH NO ROCK LARGER THAN 1" IN DIAMETER.
- THE CONTRACTOR SHALL FOLLOW ANY REQUIREMENTS OF THE UTILITY PERMIT AS ISSUED BY THE SD DOT, IF REQUIRED.

WATER SERVICE

- WATER PIPING AND FITTINGS ARE SCHEMATIC ONLY. THE WATER SERVICE SHALL BE SIZED APPROPRIATELY BY PLUMBER TO MEET THE DEMAND OF THE INTERIOR PLUMBING FIXTURES AND TO MEET ANY LOCAL AND STATE REQUIREMENTS.
- COUPLINGS FOR WATER SERVICE PIPE AND TUBING SHALL BE BRASS BODY WITH PACK JOINT CONNECTIONS ON BOTH ENDS. PACK-JOINT CONNECTIONS SHALL BE APPROPRIATE FOR THE SERVICE LINE MATERIALS SIZE AND TYPE TO BE CONNECTED.
- BEDDING AND INITIAL BACKFILL FOR WATER SERVICES SHALL BE SAND WITH NO ROCK LARGER THAN 1" IN DIAMETER.
- COMPACTION AND WATERING SHALL BE CONTINUED ON ALL AREAS OF THE TRENCH UNTIL IT HAS BEEN COMPACTED TO 95% OF MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D698 (STANDARD PROCTOR). FOR SOILS WITH AN OPTIMUM MOISTURE CONTENT OF 0% TO 15%, THE MOISTURE CONTENT OF THE COMPACTED SOIL SHALL BE BETWEEN 3% BELOW OPTIMUM AND 3% OVER OPTIMUM. FOR SOILS WITH AN OPTIMUM MOISTURE CONTENT OF 15% OR GREATER, THE MOISTURE CONTENT OF THE COMPACTED SOIL SHALL BE BETWEEN 2% BELOW OPTIMUM AND 4% OVER OPTIMUM.
- WATER PIPE SHALL BE BURIED A MINIMUM OF 6" TO THE TOP OF THE PIPE.

TRACER WIRE

- TRACER WIRE SHALL BE A DIRECT BURY WIRE, 12 AWG SOLID STRAND SOFT DRAWN COPPER PER ASTM B-3 OR B-8. THE BREAKING POUNDS OF THE WIRE SHALL BE A MINIMUM OF 124 WITH AN O.D. OF 0.154. ALL WIRE SHALL BE SPARK TESTED AT 7500 VAC.
- INSULATION: CONDUCTOR SHALL BE INSULATED WITH LOW DENSITY HIGH MOLECULAR WEIGHT POLYETHYLENE INSULATION SUITABLE FOR DIRECT BURY APPLICATIONS PER ASTM D-1248. THE MINIMUM INSULATION THICKNESS SHALL BE 0.045 FOR SANITARY SEWER THE COLOR OF INSULATION SHALL BE RED WITH A PRINT LINE SAYING SEWER.
- SPICES AND CONNECTORS SHOULD BE CAPABLE OF HANDLING FROM 2 TO 4 WIRES PER CONNECTOR AND DESIGNATED AS "WATER-PROOF". PVC ADHESIVES OR SEALING COMPOUNDS ARE NOT ACCEPTABLE.
- TRACER WIRES SHALL BE TERMINATED USING SMALL TERMINAL BOXES SUITABLE FOR FLUSH BURY WITH A 2 1/2-INCH CAST IRON TOP, INTEGRAL STAINLESS TERMINALS AND A MINIMUM 12-INCH LONG ABS BOTTOM SECTION. THE TERMINAL BOXES SHALL BE RATED FOR AN H-20 LOAD.

STORM SEWER

- STORM SEWER SHALL CONFORM TO THE REQUIREMENTS OF SANITARY SEWER SERVICE PIPE.
- THE CONTRACTOR SHALL FOLLOW ANY REQUIREMENTS OF THE UTILITY PERMIT AS ISSUED BY THE SD DOT, IF REQUIRED.

Concrete Collar As Shown In Detail
4" PVC
Inv. = 1296.00
14 LF of 4" PVC Storm
Sewer Slope @ 0.7%
Connect to Existing Inlet
Inv. = 1295.90

Ex. 3'x4' Area Drain
Rim Elev. = 1298.25
S. Inv. = 1295.62

Ex. Sanitary MH
Rim Elev. = 1302.13
S Inv. = 1283.99 (10" VCP)
N Inv. = 1283.97 (10" VCP)

Highway 37

22x34 Horiz. Scale:	1" = 20'
11x17 Horiz. Scale:	1" = 40'
Drawn By:	RLA
Checked By:	JDS
Date:	11/20/2024
Project No.:	16608
File Name:	16608-Mad Garage

Project Name:

**Mad Garage
Site
Improvements**

Located in:

**Mitchell,
South Dakota**

Sheet Name:

Utility Plans

Sheet Number:	Total Sheets:
3	9

Note:
Site Contractor shall properly
protect their work as
necessary with barricades,
fencing, and signage.

Note: Surfacing is expected
to be completed in phases.
Confirm with owner the
extents of paving to be
installed.

Note: Power and communications
lines are shown schematically for
planning purposes only. Location,
depth, conduit diameter, and number
of conduits shall be coordinated
between the Owner and respective
utility companies.

GENERAL NOTES AND SPECIFICATIONS

CONCRETE SURFACING

- CONCRETE SURFACING SHALL BE INSTALLED AT THE LOCATIONS AND AT THE ELEVATIONS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER AND OWNER. CONCRETE SURFACES SHALL BE CURED AND PROTECTED IN SUFFICIENT TIME FROM PLACEMENT (NOT LESS THAN THREE (3) DAYS). THE CONCRETE SURFACING SHALL HAVE A BROOM FINISH.
- CONSTRUCTION JOINTS SHALL BE PROVIDED AT THE INTERVALS OF NO GREATER THAN 12 FEET OR AS DIRECTED BY THE PROJECT ENGINEER. CONSTRUCTION JOINTS SHALL CONSIST OF A GROOVE OF AT LEAST ONE-THIRD (1/3) THE DEPTH OF THE PAVEMENT SAWED OR TOOLED IN GREEN CONCRETE. ALL EXPANSION AND CONSTRUCTION JOINTS SHALL BE FILLED FLUSH TO THE SURFACE WITH JOINT SEALING COMPOUND. TOOLED JOINTS WILL NOT NEED TO BE SEALED WITH JOINT SEALING COMPOUND.
- CONCRETE USED FOR SIDEWALKS AND CURB & GUTTER SHALL BE CLASS M6 AND CONCRETE USED FOR PAVEMENT SHALL BE CLASS A40 AND SHALL CONFORM TO THE CONSTRUCTION REQUIREMENTS OF THE 2015 EDITION OF THE SD DOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES. ALL EXTERIOR CONCRETE SURFACES SHALL HAVE A LIGHT BROOM FINISH UNLESS OTHERWISE DIRECTED. THE 28-DAY COMPRESSIVE STRENGTH SHALL NOT BE LESS THAN 4,000 PSI.
- PREFORMED EXPANSION JOINT FILLER SHALL CONFORM TO THE REQUIREMENTS OF AASHTO M213. EXPANSION JOINTS SHALL BE INSTALLED WHEN EXTERIOR CONCRETE IS POURED AGAINST FOUNDATIONS. ALL EXPANSION JOINTS SHALL BE SEALED WITH LOW MODULUS SILICONE SEALANT CONFORMING TO THE REQUIREMENTS OF THE 2015 EDITION OF THE SD DOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES. JOINT SEALANT SHALL BE INSTALLED IN SUCH A MANNER AS TO FILL THE ENTIRE VOID WHERE IT IS BEING APPLIED. JOINT SEALANT SHALL BE FINISHED OFF TO HAVE A SMOOTH SLIGHTLY CONCAVE SURFACE. JOINT SEALANT THAT DOES NOT PROPERLY ADHERE TO THE SURROUNDING SURFACES SHALL BE REMOVED AND REPLACED AT NO ADDITIONAL COST TO THE OWNER.

GRAVEL BASE COURSE, SURFACING AND CUSHION

- THE AGGREGATE FOR GRANULAR BASE COURSE, SURFACING AND CUSHION SHALL CONFORM TO THE GRADATIONS SHOWN IN THE 2015 EDITION OF THE SD DOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES. SAMPLING AND TESTING OF THE MATERIALS SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING METHODS AND PROCEDURES.
- GRAVEL BASE COURSE, SURFACING AND CUSHION SHALL BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY. THE MAXIMUM DRY DENSITY SHALL BE DETERMINED BY SD 104 METHOD 4. FINAL GRADING BEFORE INSTALLATION OF THE PAVEMENT SHALL PROVIDE BASE COURSE WITHIN 0.04% OF DESIGN ELEVATION.

SIDEWALK

- SIDEWALKS SHALL BE INSTALLED AT THE LOCATIONS AND AT THE ELEVATIONS SHOWN ON THE PLANS. CONTRACTION JOINT SHALL BE CONSTRUCTED SUCH THAT WHEN COMPLETED, THE PANELS FORMED BY THE JOINTING WILL BE SQUARE IN SHAPE UNLESS OTHERWISE DIRECTED BY THE PROJECT MANAGER. EXPANSIONS SHALL BE INSTALLED BETWEEN THE SIDEWALK AND BUILDING, AROUND ANY STRUCTURES LOCATED WITHIN THE SIDEWALK AND AT INTERVALS NOT GREATER THAN 150'. ALL EXTERIOR CONCRETE SURFACES SHALL HAVE A LIGHT BROOM FINISH UNLESS OTHERWISE DIRECTED. THE 28-DAY COMPRESSIVE STRENGTH SHALL NOT BE LESS THAN 4,000 PSI. CONCRETE TESTING SHALL BE COORDINATED WITH CORE ENGINEERING.
- SIDEWALK SHALL BE INSTALLED AT THE GRADES REQUIRED BY THE AMERICANS WITH DISABILITIES ACT. SPECIAL CARE SHALL BE TAKEN TO MAINTAIN A CROSS SLOPE OF LESS THAN 2%.

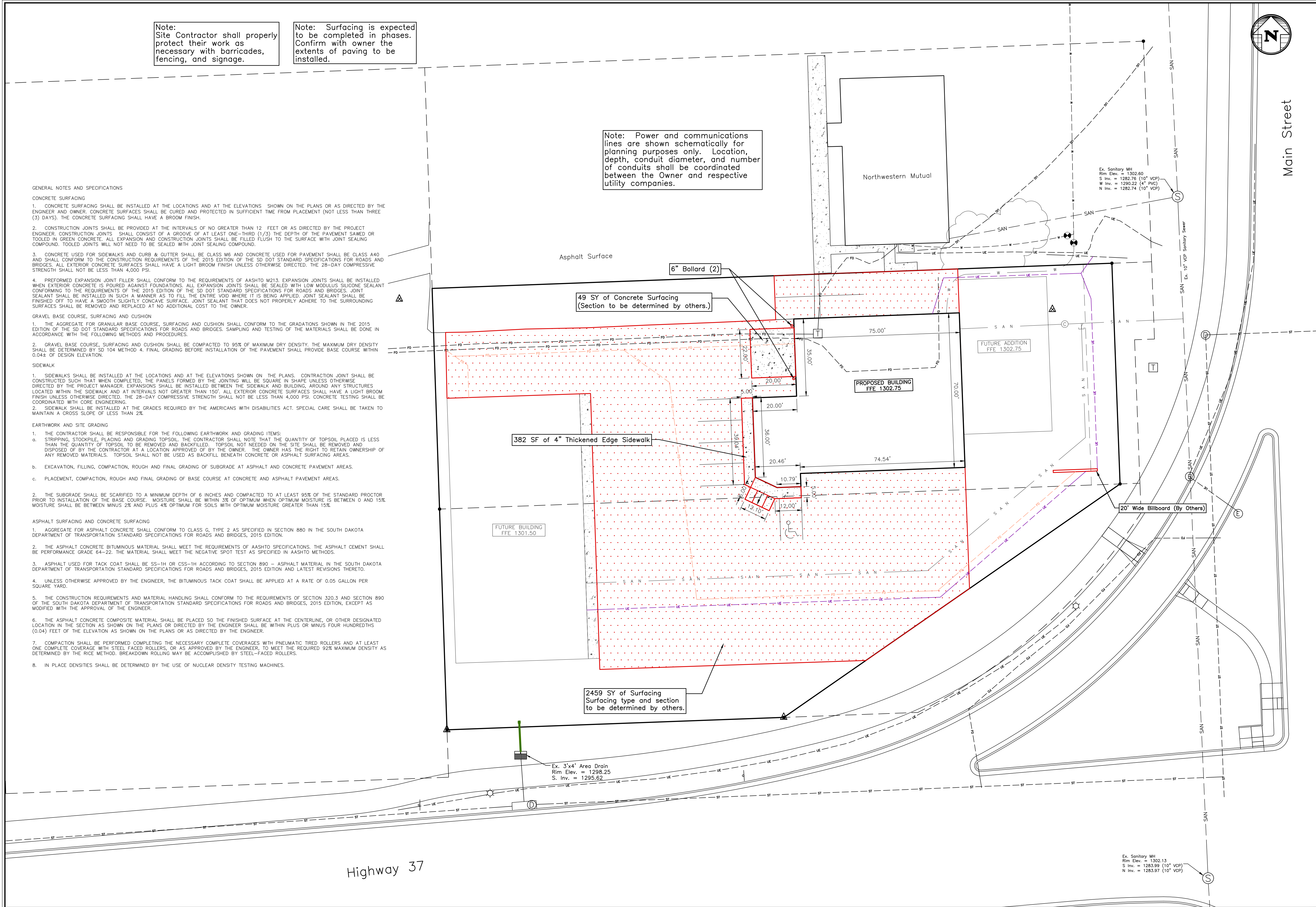
EARTHWORK AND SITE GRADING

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING EARTHWORK AND GRADING ITEMS:
 - STRIPPING, STOCKPILE, PLACING AND GRADING TOPSOIL. THE CONTRACTOR SHALL NOTE THAT THE QUANTITY OF TOPSOIL PLACED IS LESS THAN THE QUANTITY OF TOPSOIL TO BE REMOVED AND BACKFILLED. TOPSOIL NOT NEEDED ON THE SITE SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR AT A LOCATION APPROVED OF BY THE OWNER. THE OWNER HAS THE RIGHT TO RETAIN OWNERSHIP OF ANY REMOVED MATERIALS. TOPSOIL SHALL NOT BE USED AS BACKFILL BENEATH CONCRETE OR ASPHALT SURFACING AREAS.
 - EXCAVATION, FILLING, COMPACTION, ROUGH AND FINAL GRADING OF SUBGRADE AT ASPHALT AND CONCRETE PAVEMENT AREAS.
 - PLACEMENT, COMPACTION, ROUGH AND FINAL GRADING OF BASE COURSE AT CONCRETE AND ASPHALT PAVEMENT AREAS.

- THE SUBGRADE SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 6 INCHES AND COMPACTED TO AT LEAST 95% OF THE STANDARD PROCTOR PRIOR TO INSTALLATION OF THE BASE COURSE. MOISTURE SHALL BE WITHIN 3% OF OPTIMUM WHEN OPTIMUM MOISTURE IS BETWEEN 0 AND 15%. MOISTURE SHALL BE BETWEEN MINUS 2% AND PLUS 4% OPTIMUM FOR SOILS WITH OPTIMUM MOISTURE GREATER THAN 15%.

ASPHALT SURFACING AND CONCRETE SURFACING

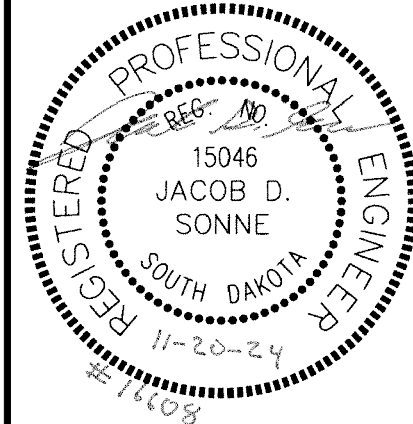
- AGGREGATE FOR ASPHALT CONCRETE SHALL CONFORM TO CLASS G, TYPE 2 AS SPECIFIED IN SECTION 880 IN THE SOUTH DAKOTA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES, 2015 EDITION.
- THE ASPHALT CONCRETE BITUMINOUS MATERIAL SHALL MEET THE REQUIREMENTS OF AASHTO SPECIFICATIONS. THE ASPHALT CEMENT SHALL BE PERFORMANCE GRADE 64-22. THE MATERIAL SHALL MEET THE NEGATIVE SPOT TEST AS SPECIFIED IN AASHTO METHODS.
- ASPHALT USED FOR TACK COAT SHALL BE SS-1H OR CSS-1H ACCORDING TO SECTION 890 - ASPHALT MATERIAL IN THE SOUTH DAKOTA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES, 2015 EDITION AND LATEST REVISIONS THERETO.
- UNLESS OTHERWISE APPROVED BY THE ENGINEER, THE BITUMINOUS TACK COAT SHALL BE APPLIED AT A RATE OF 0.05 GALLON PER SQUARE YARD.
- THE CONSTRUCTION REQUIREMENTS AND MATERIAL HANDLING SHALL CONFORM TO THE REQUIREMENTS OF SECTION 320.3 AND SECTION 890 OF THE SOUTH DAKOTA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES, 2015 EDITION, EXCEPT AS MODIFIED WITH THE APPROVAL OF THE ENGINEER.
- THE ASPHALT CONCRETE COMPOSITE MATERIAL SHALL BE PLACED SO THE FINISHED SURFACE AT THE CENTERLINE, OR OTHER DESIGNATED LOCATION IN THE SECTION AS SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER SHALL BE WITHIN PLUS OR MINUS FOUR HUNDREDTHS (0.04) FEET OF THE ELEVATION AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
- COMPACTION SHALL BE PERFORMED COMPLETING THE NECESSARY COMPLETE COVERAGES WITH PNEUMATIC TIERED ROLLERS AND AT LEAST ONE COMPLETE COVERAGE WITH STEEL FACED ROLLERS, OR AS APPROVED BY THE ENGINEER, TO MEET THE REQUIRED 92% MAXIMUM DENSITY AS DETERMINED BY THE RICE METHOD. BREAKDOWN ROLLING MAY BE ACCOMPLISHED BY STEEL-FACED ROLLERS.
- IN PLACE DENSITIES SHALL BE DETERMINED BY THE USE OF NUCLEAR DENSITY TESTING MACHINES.



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Certificate
I hereby certify that this
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was prepared by me or
under my direct supervision
and that I am a duly
Registered Professional
Engineer under the laws of
the State of South Dakota.



22x34 Horiz. Scale:	1" = 20'
11x17 Horiz. Scale:	1" = 40'
Drawn By:	RLA
Checked By:	JDS
Date:	11/20/2024
Project No.:	16608
File Name:	16608-Mad Garage

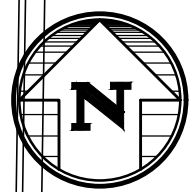
Project Name:
**Mad Garage
Site
Improvements**

Located in:
**Mitchell,
South Dakota**

Sheet Name:
Site Plan

Sheet Number:	Total Sheets:
5	9

Note:
Site Contractor shall properly
protect their work as
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fencing, and signage.



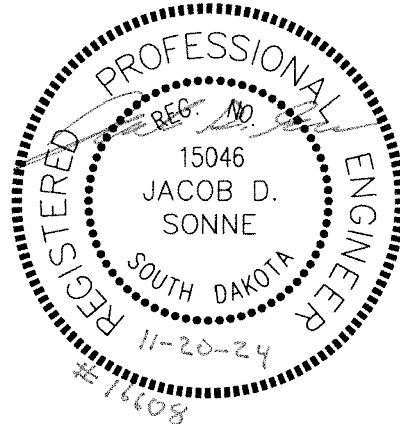
Main Street

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GENERAL NOTES AND SPECIFICATIONS

- UPON COMPLETION OF CLEARING AND GRUBBING, THE CONTRACTOR MAY BEGIN EXCAVATION. TOPSOIL WILL BE SALVAGED BY THE CONTRACTOR TO BE RE-USED FOR ALL AREAS TO BE RESEED. ALL AREAS REQUIRING TOPSOIL SHALL BE OVER-EXCAVATED OR UNDER-FILLED TO ALLOW FOR PLACEMENT OF A MINIMUM OF 4" OF TOPSOIL.
- THE CONTRACTOR SHALL INFORM AND SATISFY HIMSELF AS TO THE CHARACTER, QUANTITY AND DISTRIBUTION OF ALL MATERIAL TO BE EXCAVATED. EXCAVATION OPERATIONS SHALL BE CONDUCTED SO THAT MATERIALS OUTSIDE THE LIMITS OF CONSTRUCTION WILL NOT BE DISTURBED.
- UPON COMPLETION OF THE EXCAVATION TO THE SUBGRADE, THE CONTRACTOR SHALL SCARIFY THE SUBGRADE TO A MINIMUM DEPTH OF 6" AND RE-COMPACT THE SUBGRADE.
- COMPACTION AND WATERING SHALL BE CONTINUED ON ALL AREAS OF THE SUBGRADE UNTIL IT HAS BEEN COMPACTED TO THE REQUIREMENTS DESCRIBED IN THESE PLANS AND SPECIFICATIONS.
- FINAL PLACEMENT OF TOPSOIL SHALL INCLUDE FILLING LOW AREAS, CUTTING DOWN HIGH SPOTS AND FINISH GRADING TO CREATE SMOOTH UNIFORM GRADES ACCEPTABLE TO THE OWNER AND PROJECT MANAGER. TOPSOIL SHALL BE LIGHTLY COMPACTED. ALL ROCKS, STICKS AND OTHER DEBRIS GREATER THAN ONE INCH IN ANY DIMENSION SHALL BE REMOVED FROM THE TOPSOIL PRIOR TO SEEDING.

POND INFORMATION:

Top of Detention Pond Elev. = 1298.60
Pond Volume = 3,100 ft³
Detention required for 100 - year event = 2,200 ft³

Asphalt Surface

Northwestern Mutual

Ex. Sanitary MH
Rim Elev. = 1302.60
S Inv. = 1282.76 (10" VCP)
W Inv. = 1280.22 (4" PVC)
N Inv. = 1282.74 (10" VCP)

FUTURE ADDITION
FFE 1302.75

PROPOSED BUILDING
FFE 1302.75

FUTURE BUILDING
FFE 1301.50

Ex. Sanitary MH
Rim Elev. = 1302.13
S Inv. = 1283.99 (10" VCP)
N Inv. = 1283.97 (10" VCP)

Highway 37

22x34 Horiz. Scale:	1" = 20'
11x17 Horiz. Scale:	1" = 40'
Drawn By:	RLA
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Date:	11/20/2024
Project No.:	16608
File Name:	16608-Mad Garage

Project Name:

**Mad Garage
Site
Improvements**

Located in:

**Mitchell,
South Dakota**

Sheet Name:

Grading Plan

Sheet Number:	Total Sheets:
6	9

GENERAL NOTES AND SPECIFICATIONS

1. NO WORK SHALL BEGIN UNTIL THE GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES HAS BEEN OBTAINED.
2. THE CONTRACTOR WILL BE RESPONSIBLE TO COMPLETE THE MONITORING, REPORTING, AND MAINTENANCE OF THE STORM WATER POLLUTION PREVENTION PLAN AS REQUIRED BY THE STORM WATER DISCHARGE PERMIT.
3. ADDITIONAL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED AS NECESSARY TO PREVENT SEDIMENT AND POLLUTANTS FROM LEAVING THE SITE.
4. THE CONTRACTOR SHALL PROVIDE FRESH, CLEAN, NEW CROP SEED, COMPLYING WITH THE TOLERANCES FOR PURITY AND GERMINATION ESTABLISHED BY THE OFFICIAL SEED ANALYSIS OF NORTH AMERICA AND THE SOUTH DAKOTA SEED LAW. SEED SHALL NOT EXCEED 1% WEED CONTENT. PROVIDE SEED OF THE GRASS SPECIES AND PROPORTIONS AS FOLLOWS, OR APPROVED EQUAL:

Grass Variety	% of Mix (By Weight/Pure Live Seed)
Kentucky Bluegrass	20
Perennial Ryegrass	20
Creeping Red Fescue	20
Chewings Fescue	20
Alkali Grass	20

5. FERTILIZER SHALL BE PLACED AS RECOMMENDED BY THE SEEDER.

6. BONDED FIBER MATRIX SHALL CONSIST OF A CONTINUOUS LAYER OF ELONGATED FIBER STRANDS HELD TOGETHER BY A WATER RESISTENT BONDING AGENT. THE PRODUCT SHALL BE 100% BIODEGRADABLE AND COMPOSED OF 90% WOOD FIBER, 9% NATURAL BINDER AND 1% ORGANIC AND MINERAL ACTIVATORS (ALL BY WEIGHT).

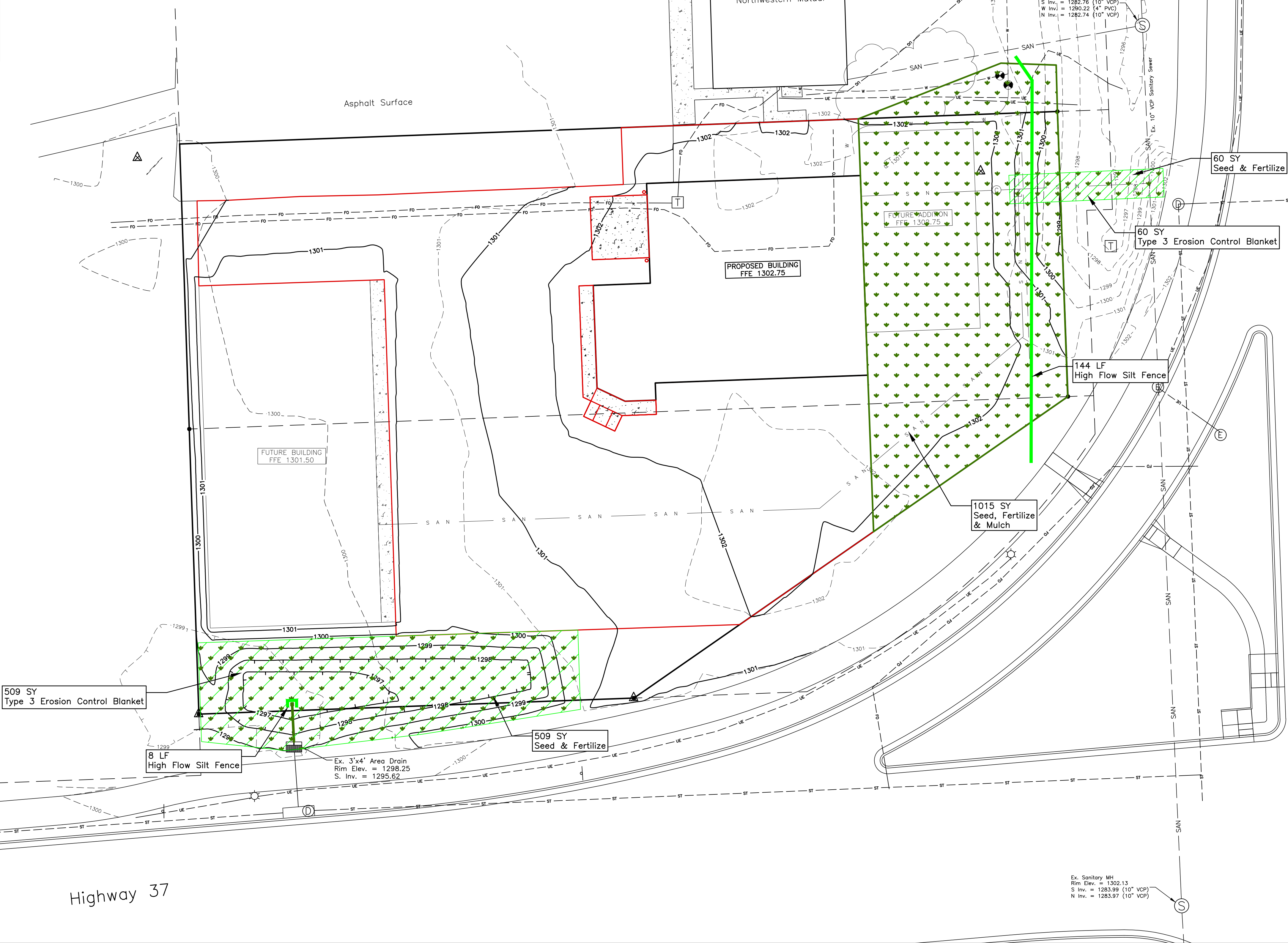
7. SEED AND FERTILIZER MAY BE APPLIED IN CONJUNCTION WITH THE HYDRO-MULCHING PROCESS. BONDED FIBER MATRIX RATE OF APPLICATION SHALL BE 3,900 POUNDS PER ACRE.

8. NO CONCRETE WASHOUT OR WASHOFF SHALL BE ALLOWED ON SITE, UNLESS A WRITTEN PLAN AND PROCEDURE HAS BEEN PROVIDED FOR THE CAPTURE AND TREATMENT OF THE WASH WATER.

9. ANY AND ALL AREAS THAT WILL REMAIN IDLE FOR MORE THAN 14 DAYS SHALL BE TEMPORARILY STABILIZED.

10. AS SOON AS FINAL GRADING IS COMPLETED THE SITE SHALL BE STABILIZED AND FINAL SEEDING COMPLETED.

11. EROSION CONTROL BLANKET SHALL BE TYPE 3 EROSION CONTROL BLANKET AS SHOWN ON THE SD DOT APPROVED PRODUCTS LIST.

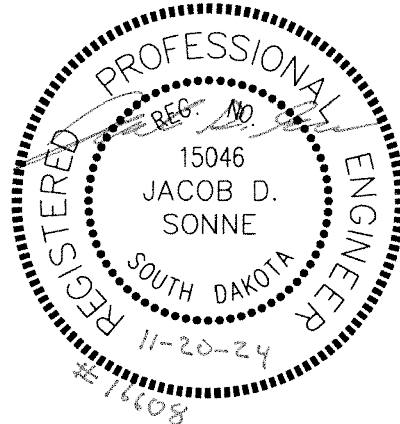


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Certificate

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Professional Engineer under the laws of the State of South Dakota.



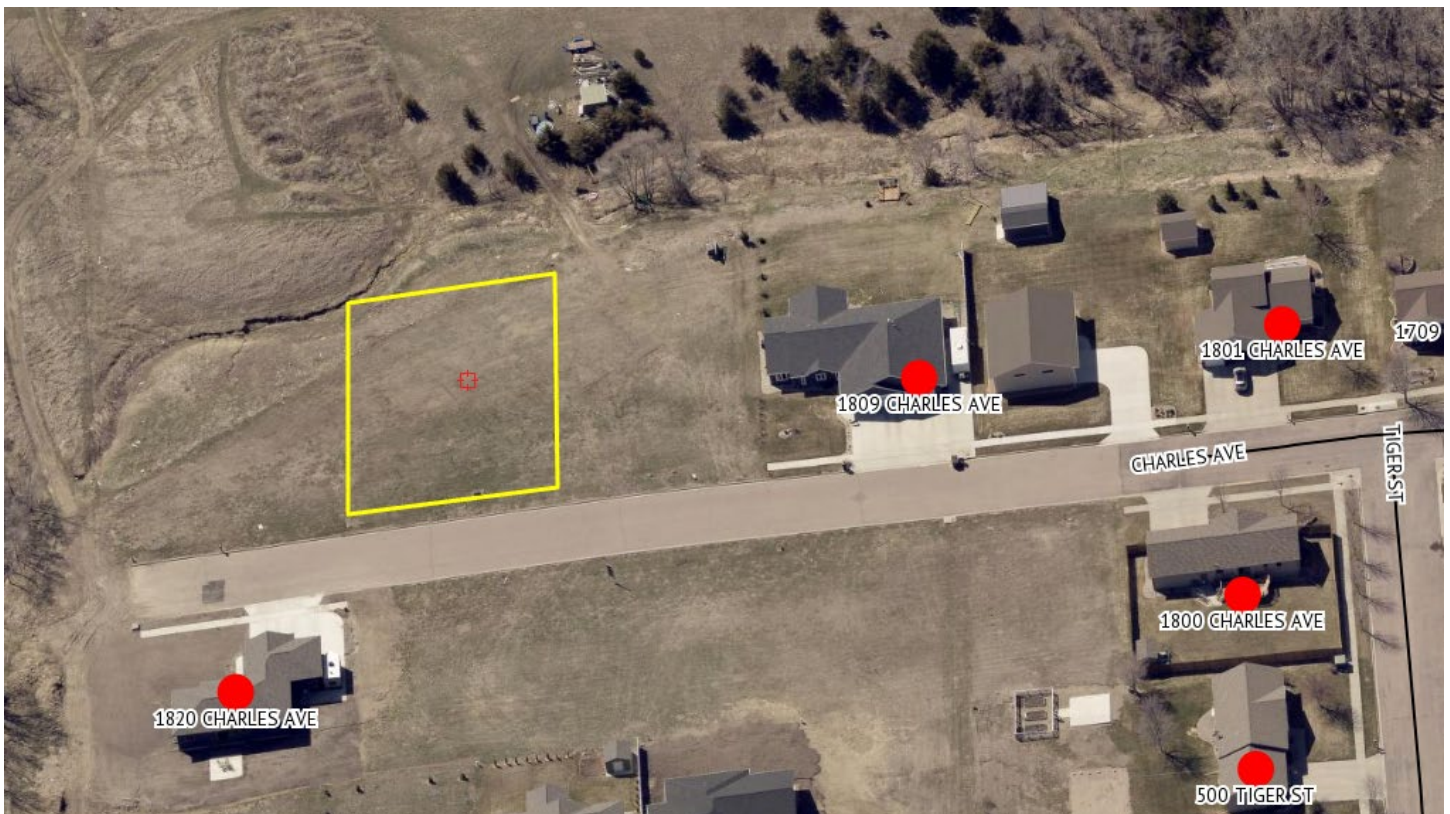
22x34 Horiz. Scale:	1" = 20'
11x17 Horiz. Scale:	1" = 40'
Drawn By:	RLA
Checked By:	JDS
Date:	11/20/2024
Project No.:	16608
File Name:	16608-Mad Garage

Project Name:
Mad Garage Site Improvements

Located in:
Mitchell, South Dakota

Sheet Name:
Erosion Control Plan

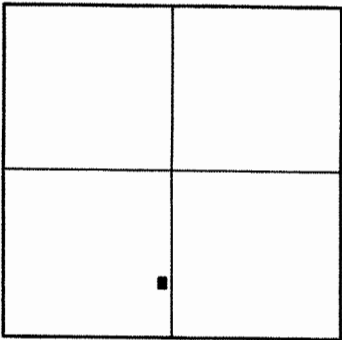
Sheet Number:	Total Sheets:
7	9



SEC. 23, T 103 N, R 60 W



1 inch = 60 ft.



LOCATION MAP
SCALE: 1" = 3000'

LEGEND

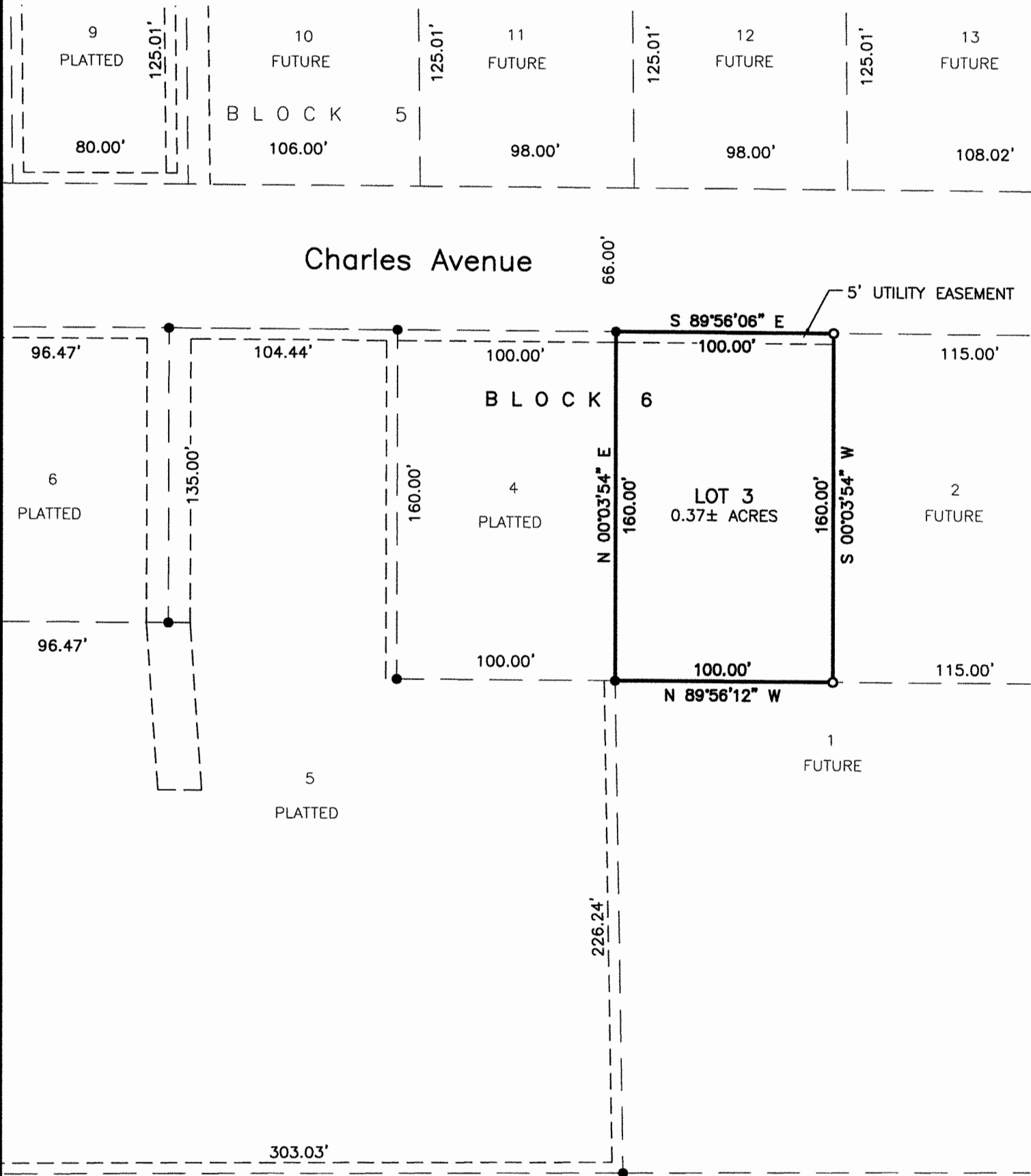
- = FOUND IRON MONUMENT
- = SET 5/8" X 18" REBAR WITH PLASTIC CAP NO. 13714
- 100' (P) = PLATTED BEARING OR DISTANCE
- 100' = MEASURED BEARING OR DISTANCE
- ⊠ = SET NAIL
- ▲ = SET SURVEY SPIKE
- 4.00 CH (P) = PLATTED DISTANCE IN CHAINS
- = FOUND NAIL
- ◇ = SET 3/8" X 12" SPIKE W/WASHER JAW-13714
- WM = WITNESS MONUMENT

PREPARED BY: JEREMY A. WOLBRINK, R.L.S.
2100 NORTH SANBORN BLVD. - P.O. BOX 398
MITCHELL, SOUTH DAKOTA 57301
PHONE: (605) 996-7761

BEARINGS ARE BASED ON AN ASSUMED COORDINATE SYSTEM USING GPS GRID BEARINGS/GROUND DISTANCES

EASEMENTS WITHIN LOT 4, BLOCK 6 DEDICATED BY THIS PLAT:

FRONT ALONG CHARLES AVENUE = 5' UTILITY EASEMENT



A PLAT OF LOT 3, BLOCK 6 OF THE WOODS FIRST ADDITION, A SUBDIVISION OF THE EAST 1/2 OF THE SW 1/4 OF SECTION 23, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA.

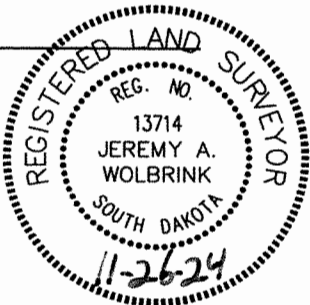
SURVEYOR'S CERTIFICATE

I, Jeremy A. Wolbrink, the undersigned, do hereby certify that I am a Registered Land Surveyor in the State of South Dakota. At the request of CJM Consulting, Inc., a South Dakota corporation, as owner, and under its direction for purposes indicated therein, I did on or prior to November 27, 2024, survey those parcels of land described as follows: LOT 3, BLOCK 6 OF THE WOODS FIRST ADDITION, A SUBDIVISION OF THE EAST 1/2 OF THE SW 1/4 OF SECTION 23, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA.

In my professional opinion and to the best of my knowledge, information and belief, the within and foregoing plat is true and correct.

Dated this 26TH day of November, 2024.

Registered Land Surveyor #SD13714



SPN & Associates
Engineers, Planners and Surveyors
2100 North Sanborn Blvd. - P.O. Box 398 Mitchell, South Dakota 57301
Phone: (605) 996-7761 Fax: (605) 996-0015

A PLAT OF LOT 3, BLOCK 6 OF THE WOODS FIRST ADDITION, A SUBDIVISION OF THE EAST 1/2 OF THE SW 1/4 OF SECTION 23, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA.

OWNER'S CERTIFICATE, DEDICATION AND AGREEMENT OF PROTECTION OF WATER

KNOW ALL MEN BY THESE PRESENTS that I, the undersigned, hereby certify that CJM Consulting, Inc., a South Dakota corporation, is the absolute and unqualified owner of all of the land included in the within and foregoing plat; the plat is of a parcel of ground located in THE EAST 1/2 OF THE SW 1/4 OF SECTION 23, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA; that the plat has been made at the request of CJM Consulting, Inc., a South Dakota corporation, and under its direction for the purposes indicated therein; which said property as so surveyed and platted shall hereafter be known as LOT 3, BLOCK 6 OF THE WOODS FIRST ADDITION, A SUBDIVISION OF THE EAST 1/2 OF THE SW 1/4 OF SECTION 23, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA, as shown by this plat; and CJM Consulting, Inc., a South Dakota corporation, hereby dedicates to the public, for public use forever as such, the streets, alleys and easements, if any, as noted and shown on said plat; and that development of the land included within the boundaries of said Lot 3, Block 6 shall conform to all applicable zoning, subdivision, erosion, sediment control and drainage regulations and ordinances; further that there now exists Charles Avenue. Pursuant to SDCL 11-3-8.1 and 11-3-8.2 the developer of the property described within this plat shall be responsible for protecting any waters of the state located adjacent to or within such platted area from pollution from sewage from such subdivision and shall, in prosecution of such protections conform to and follow all regulations of the South Dakota Department of Agriculture and Natural Resources relating to the same. Additionally, the developer of the property described within this plat shall be liable for any pollution that occurs from failure to execute such protections or follow such regulations, exception being those lots in subdivisions that show documentation that wastewater drainage shall be connected to a municipal system.

IN WITNESS WHEREOF, I have hereunto set my hand this _____ day of _____, 2024.

Charles J. Mauszycki, Jr., Vice President of CJM Consulting, Inc.,
a South Dakota corporation

CORPORATION ACKNOWLEDGMENT

STATE OF SOUTH DAKOTA))SS
COUNTY OF DAVISON)

On this, the _____ day of _____, 2024, before me, _____, the undersigned officer, personally appeared Charles J. Mauszycki, Jr., of CJM Consulting, Inc., a South Dakota corporation, and that he, as such Vice President, being authorized so to do, executed the foregoing instrument for the purposes therein contained, by signing the name of the corporation by himself as Vice President.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

Notary Public, South Dakota
My Commission Expires: _____

RESOLUTION OF CITY PLANNING COMMISSION

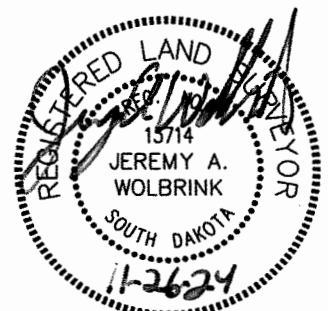
WHEREAS, the plat of LOT 3, BLOCK 6 OF THE WOODS FIRST ADDITION, A SUBDIVISION OF THE EAST 1/2 OF THE SW 1/4 OF SECTION 23, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA, prepared by Jeremy A. Wolbrink, duly licensed Land Surveyor in and for the State of South Dakota, heretofore filed in the office of the City Finance Officer of Mitchell, South Dakota, has been submitted to the City Planning Commission of the said City of Mitchell, South Dakota; and

WHEREAS, the City Planning Commission, in regular meeting assembled, had duly considered said plat and finds as a fact that said plat is in conformity and does not conflict with the Master Plan for the City of Mitchell, South Dakota, heretofore adopted by this Commission;

NOW THEREFORE, be it resolved by the City Planning Commission of Mitchell, South Dakota, that the plat of LOT 3, BLOCK 6 OF THE WOODS FIRST ADDITION, A SUBDIVISION OF THE EAST 1/2 OF THE SW 1/4 OF SECTION 23, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA, prepared by Jeremy A. Wolbrink, a Land Surveyor, be and the same is hereby approved and its adoption by the City Council of the City of Mitchell, South Dakota, is hereby recommended.

The undersigned does hereby certify that the foregoing resolution was passed by the City Planning Commission of Mitchell, South Dakota, at a meeting thereof held on the _____ day of _____, 20_____.

Chairperson/Vice Chairperson of the City of Mitchell
Planning Commission



SPN

& Associates
Engineers, Planners and Surveyors

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