



Planning Commission 6-8-26 Agenda
City Council Chambers, City Hall, 612 N. Main Street
June 8, 2026

- 1. 12:00 PM Call to Order**
- 2. Roll Call**
- 3. Declaration Of Conflicts Of Interests**
- 4. Approve Agenda**
- 5. Approval of Previous Minutes: May 11, 2026**
- 6. Schedule Next Meeting: June 22, 2026**
- 7. Plat: Jensen Capital & Development LLC**

Plat of Lots 1 through 6 of Business Center Addition in the SE 1/4 of the NE 1/4 of Section 29, T 103 N, R 60 W of the 5th P.M., City of Mitchell, Davison County, South Dakota
- 8. Rezone Hearing & Recommendation: Harris Properties LLC, SW corner of Elm Ave and Iowa St**

Harris Properties LLC is requesting the following properties legally described as; Lot 1-A, a subdivision of a portion of previously platted Irregular Tract 1 in the SW ¼ of the SE ¼ of Section 21, T 103 N, R 60 W of the 5th P.M., City of Mitchell, Davison County, South Dakota; be changed from High Density Residential District to Highway Oriented Business District AND THE OFFICIAL ZONING MAP BE CHANGED TO REFLECT THE SAME
- 9. Variance Permit: Cory Hauser**

Cory Hauser has applied for a Variance Permit for combination of accessory buildings of 2,380 square feet vs 2,000 square feet. This is located at 1420 E Birch Ave, legally described as Lot 11 and 12, Block 6, Fairview Addition, City of Mitchell, Davison County, South Dakota. The property is zoned R2 Single Family Residential District.
- 10. Plat: Bryan & Cynthia Dixon**

Plat of Lots 1 and 2, a subdivision of Lot B in the NW 1/4 of Section 25, T 103 N, R 61 W of the 5th P.M., Davison County, South Dakota
- 11. Variance Permit: Mueller Lumber Company on behalf of Denise & Dianne Hartman**

Mueller Lumber Company on behalf of Dennis & Dianne Hartman have applied for a Variance Permit for east and west side yard setbacks of 4' vs 8'. This is located at 605 W Pine Ave, legally described as Lot 2, Block 2, MLC Addition, a subdivision of Block 3, Morningview Addition to the City of Mitchell, Davison County, South Dakota. The property is zoned Mueller Lumber Morning View Subdivision Planned Unit Development District.

12. Plat: Mitchell Concrete Products Co

Plat of Lot 1 of Dailey Addition in the Southwest Quarter of Section 11, Township 103 North, Range 60 West of the 5th P.M., Davison County, South Dakota

13. Plan Approval: Muth Electric Corporate Office

1717 N Sanborn Blvd, zoned Highway Oriented Business District

14. Hearing & Action on Establishing the Boundaries and Approval of the Project Plan for Tax Increment Financing District #47

15. Other Business:

16. Public Input:

If you need to address the Board on an item that was not on the agenda, excluding personnel items, please come forward to the podium and state your name and your concern. Presentations are limited to three minutes. Items will be considered but no action will be taken at this time.

17. Adjourn

Individuals with disabilities who require special assistance to take part in this meeting may contact one of the following at City Hall (605) 995-8420 at least 24 hours prior to the meeting with requests for assistance: Human Resources Officer or the City Administrator.



Planning Commission 5-11-26
City Council Chambers, City Hall, 612 N. Main Street
May 11, 2026

1. Call to Order

Chairperson Genzlinger called the May 11, 2026 City Planning Commission Meeting to order at 12:00 P.M. noon in the Council Chambers, City Hall, 612 N Main Street.

2. Roll Call

Quorum is met, simple majority vote required for all items.

Present: Bathke, Genzlinger, Gunkel, Helleloid, Osterloo, Schmitz, Schreurs, Sonne.

Absent:

Staff Present: Boehmer, Hegg, Jenniges, J Johnson.

3. Declaration Of Conflicts Of Interests

None.

4. Approve Agenda

Motion by Sonne, seconded by Schmitz to approve the proposed agenda. All present voted aye; motion carried.

5. Approval of Previous Minutes: April 27, 2026

Motion by Schreurs, seconded by Osterloo to approve the proposed minutes of the April 27, 2026, Planning Commission Meeting. All present voted aye; motion carried.

6. Schedule Next Meeting: May 26, 2026

Motion by Schmitz, seconded by Osterloo to set the date for the next Planning Commission Meeting for May 26, 2026. All present voted aye; motion carried.

7. Plat: Sean & Karen Gerstenecker

Plat of Lots C-3 and C-4 in Lot C in the SE 1/4 of the SE 1/4 of Section 3, T 102 N, R 60 W of the 5th P.M., Davison County, South Dakota.

Jenniges gave an overview of the area using GIS. He noted this is outside city limits but within three miles of city limits. It is the county's zoning jurisdiction. The applicant is platting their land into two lots which does require some variance for lot width, size, and setbacks of which the County Planning Commission has recommended approval and the County Commission will hear on May 12, 2026. The applicant was present to answer questions.

Motion by Osterloo, seconded by Schreurs to approve the plat. All present voted aye; motion carried.

8. Hearing & Action on Establishing the Boundaries and Approval of the Project Plan for Tax Increment Financing District #46

Jenniges gave an overview of the area for Legacy Pointe LLC TIF 46 using GIS. City staff did an initial review with comments returned to the applicant. He noted that there were changes to pages 9, 11 and 12 which were passed out at the meeting. Jenniges gave an overview of the TIF to include total eligible project costs of \$1,394,413 of which \$250,000 are administrative costs and \$1,144,413 are discretionary. This is a developer-financed TIF. He said it will be a for a 38-apartment complex consisting of 1 bedroom, 2 bedroom and 3 bedroom units. It will include a fitness center, community lounge with outdoor patio, a conference room, coffee bar, interior mailbox, security system and attached garage parking. On page five is the first location of the "But for" statement. Page 9 shows the active TIF's which have updated values from the original packet. It is still under 10% of the current taxable value. The term of the TIF is 20 years or when the \$1,394,413 has been paid out in tax payment. Page 11 update states city staff instead of the Finance Officer to certify the costs. Page 12 was the final change that now includes language because of the proposed legislature for the county to be paid a certain amount for collecting and passing on the increment. Language was added that this would be paid by the increment. Page 14 shows the total project to be \$7,834,336. The property is currently estimated to have a taxable value of \$31,750. The improvements to be made to the property are expected to be added to the assessed valuation. The estimated increment resulting from the improvements would be approximately \$3,800,000 in new value once fully developed. The last page has a letter from the Department of Revenue with a preliminary classification of Affordable Housing. The applicant was present to answer questions.

Johnson noted that the city will not receive the \$250,000 until the developer has been paid their reimbursement and there is increment left still.

Leah Vissia, Davison County Director of Equalization, asked if the applicant was waiving the discretionary formal and if this was an overlapping TIF. Jenniges answered yes and no, respectively.

Steve Sibson stated he believed it would not be fair not to approve this TIF, since the development corp had a TIF approved for affordable housing. He said he worked during the legislative session on TIF reform but not all the ideas were approved. He believes the \$250,000 and part of the discretionary cost and grant TIF eligible amounts should be in line item #1 and not #5 and #8 because it is dealing with infrastructure. He believes discretionary TIF's should be eliminated, but does recommend this TIF be approved.

Motion by Schmitz, seconded by Sonne, to set the boundaries for TIF District #46 to include the following:

Lot 4 of Singapore Slab Tract 1, a subdivision of the East 1/2 of the SE 1/4 of Section 32, T 104 N, R 60 W of the 5th P.M., City of Mitchell*, Davison County, South Dakota;

The Sixty-six feet (66') of Irregular Tract Number 1 Parallel and Adjacent to the above described Lot 4 all in Section 32, T 104 N, R 60 W of the 5th P.M., City of Mitchell, Davison County, South Dakota.

All present voted aye; motion carried.

Motion by Schmitz, seconded by Sonne to approve the project plan as amended and recommend approval of TIF District #46. All present voted aye; motion carried.

9. Other Business:

None.

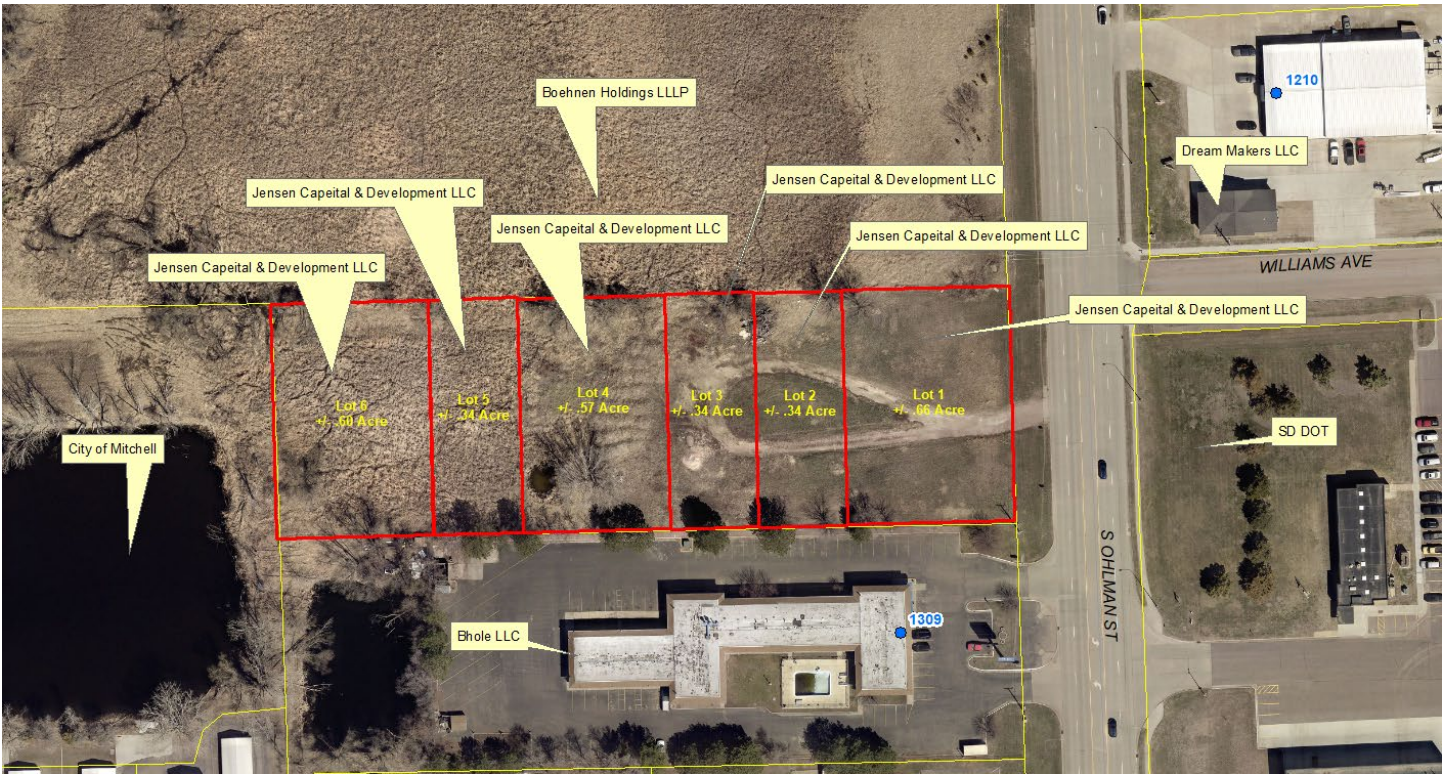
10. Public Input:

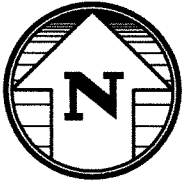
None.

11. Adjourn

Chairperson Genzlinger adjourned the meeting at 12:18 P.M.

Kevin Genzlinger
Planning Commission Chairperson





LEGEND

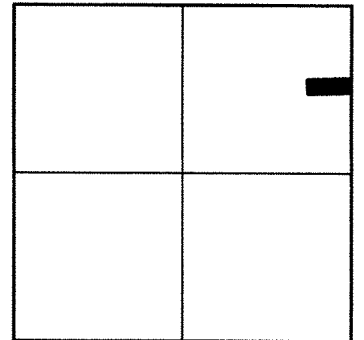
- = FOUND IRON MONUMENT
- = SET 5/8" X 18" REBAR WITH PLASTIC CAP NO. 13714
- 100' (P) = PLATTED BEARING OR DISTANCE
- 100' = MEASURED BEARING OR DISTANCE
- = SET NAIL
- ▲ = SET SURVEY SPIKE
- 4.00 CH (P) = PLATTED DISTANCE IN CHAINS
- = FOUND NAIL
- ◇ = SET 3/8" X 12" SPIKE W/WASHER JAW-13714
- WM = WITNESS MONUMENT

PREPARED BY: JEREMY A. WOLBRINK, R.L.S.
2100 NORTH SANBORN BLVD. - P.O. BOX 398
MITCHELL, SOUTH DAKOTA 57301
PHONE: (605) 996-7761

COORDINATE SYSTEM IS SOUTH DAKOTA SOUTH ZONE,
STATE PLANE - NORTH AMERICAN
DATUM 1983 - GEOID 18.
GRID BEARINGS AND DISTANCES ARE SHOWN.

NOTE:
THIS SURVEY WAS PERFORMED WITHOUT
THE BENEFIT OF A TITLE REPORT OR TITLE
COMMITMENT. EASEMENTS OF RECORD WERE
NOT RESEARCHED AND ARE NOT SHOWN
UNLESS OTHERWISE NOTED.

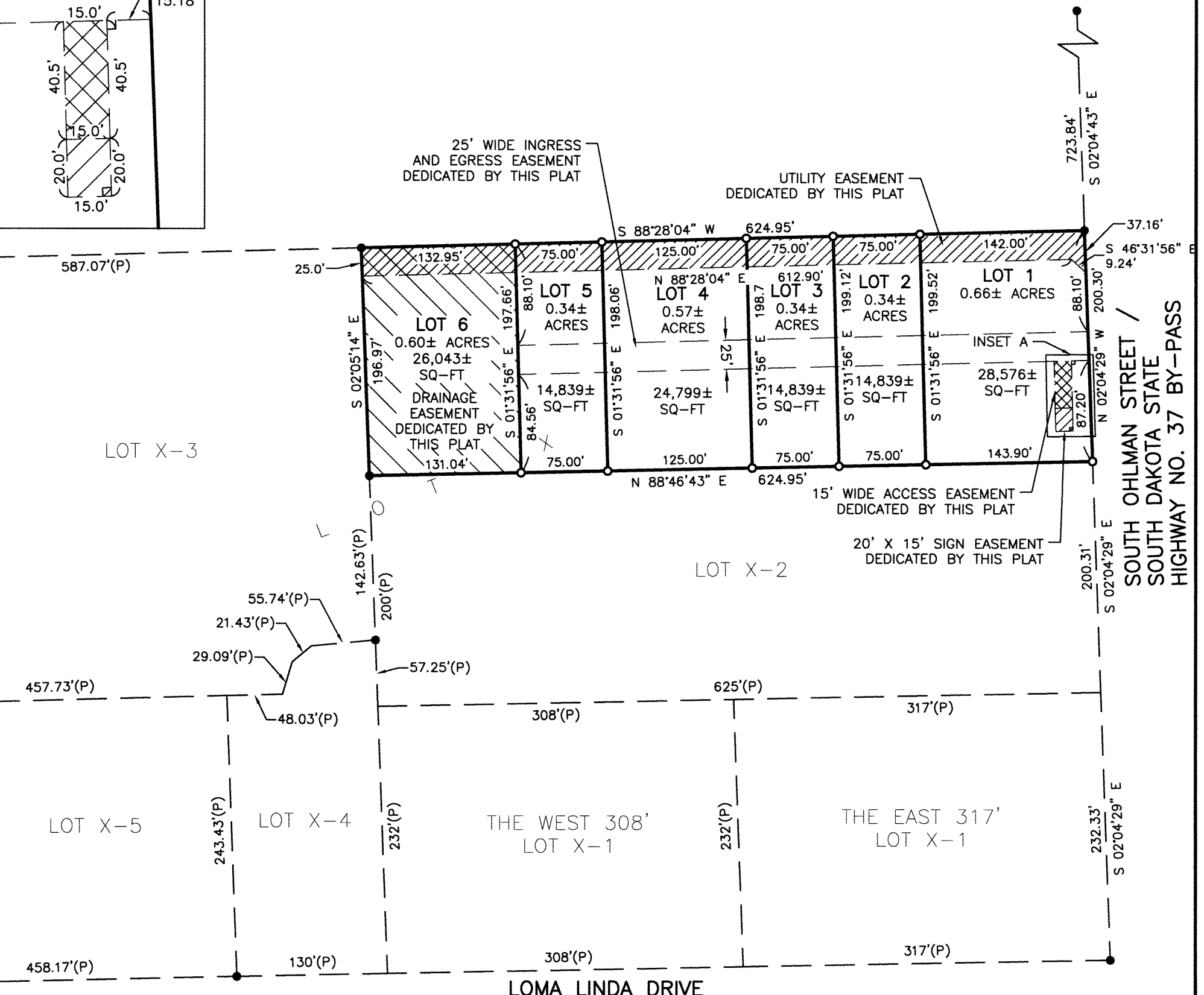
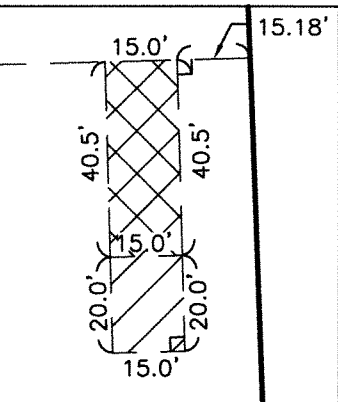
SEC. 29, T 105 N, R 60 W



LOCATION MAP
SCALE: 1" = 3000'

1 Inch = 100 Feet

INSET A
1" = 40'



A PLAT OF LOTS 1 THROUGH 6 OF BUSINESS CENTER ADDITION IN THE SE 1/4 OF THE NE 1/4 OF SECTION 29, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA

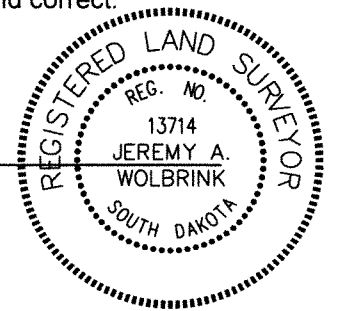
SURVEYOR'S CERTIFICATE

I, Jeremy A. Wolbrink, the undersigned, do hereby certify that I am a Registered Land Surveyor in the State of South Dakota. At the request of Jensen Capital & Development, LLC, a South Dakota limited liability company, as owner, and under its direction for purposes indicated therein, I did on or prior to April 16, 2026, survey those parcels of land described as follows: LOTS 1 THROUGH 6 OF BUSINESS CENTER ADDITION IN THE SE 1/4 OF THE NE 1/4 OF SECTION 29, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA. This plat does hereby vacate A PORTION OF LOT X, IN THE SE 1/4 OF THE NE 1/4 OF SECTION 29, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA, RECORDED IN PLAT BOOK 9 ON PAGE 55.

In my professional opinion and to the best of my knowledge, information and belief, the within and foregoing plat is true and correct.

Dated this _____ day of May, 2026.

Registered Land Surveyor #SD13714



& Associates
Engineers, Planners and Surveyors
2100 North Sanborn Blvd. - P.O. Box 398 Mitchell, South Dakota 57301
Phone: (605) 996-7761 Fax: (605) 996-0015



TO: THE MITCHELL PLANNING COMMISSION AND CITY COUNCIL OR BOARD OF ADJUSTMENT, THE CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA.

The undersigned applicant(s) and owner(s) is hereby making an application pursuant to the provisions of the City of Mitchell Zoning Code.

The names and addresses of the current property owners within one hundred and forty feet (140') of the applicant's property (excluding streets and alleys) will be notified upon the filing of this application, plats being the exception.

Applicant(s) request that dates be set for public hearings before the Mitchell Planning Commission and City Council or City Board of Adjustment. Furthermore, the applicant(s) request the City of Mitchell to publish the appropriate notice(s) in accordance with the City of Mitchell's Ordinances.

Rezoning *\$250 application due with the application.*

- Applicant is request to rezone property from R4-High Density Residential District to HB-Highway Oriented Business District.

Variance *\$150 application fee due with application.*

- Description of Variance: [Click or tap here to enter text.](#)
- Description of Hardship: [Click or tap here to enter text.](#)

Conditional Use Permit *\$150 application fee due with application*

- Description of Conditional Use: [Click or tap here to enter text.](#)

Plat Application *\$100 application fee due with application*

This Application is for the following described real property:

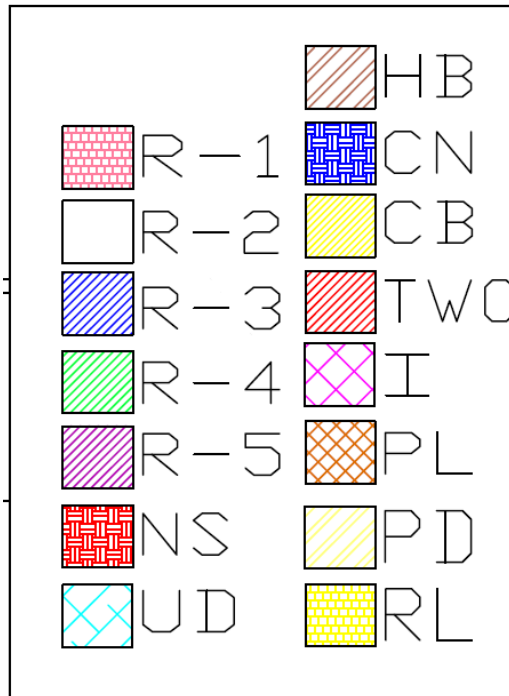
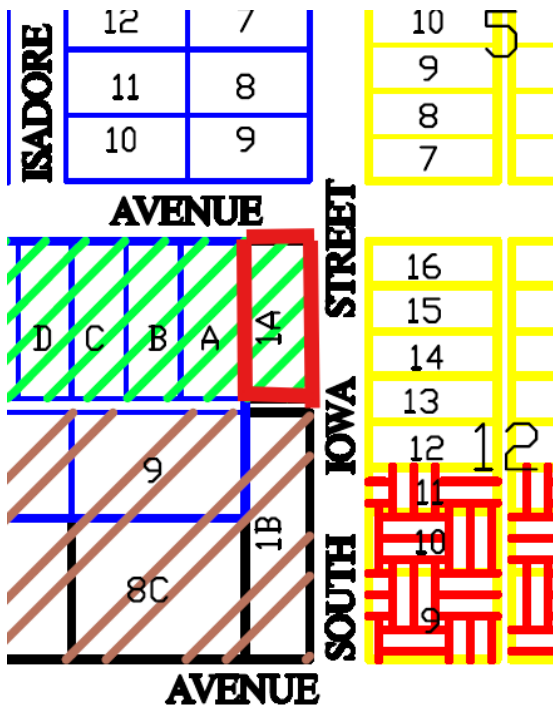
Legal Description: Lot 1-A, a subdivision of a portion of previously platted Irregular Tract 1 in the SW ¼ of the SE ¼ of Section 21, T 103 N, R 60 W of the 5th P.M., City of Mitchell, Davison County, South Dakota

Property Address: SW corner of W Elm St & S Iowa St

Dated this 18th **of** May **,** 2026.

APPLICANT

Harris Properties LLC
OWNER



NOTICE OF HEARING

TO: Mitchell City Planning Commission, City Council, and the General Public:

The City Planning Commission has scheduled a public hearing and action on the following ordinance. The Planning Commission hearing will be Monday June 8, 2026 at 12:00 p.m., the City Council will consider 1st Reading of the Ordinance on Monday, June 15, 2026 at 6:00 p.m. and 2nd Reading and Adoption on Monday, July 6, 2026 at 6:00 p.m. all meetings will be held in the Council Chambers, City Hall, 612 N Main St, Mitchell, SD. All interested parties are encouraged to attend the meetings.

ORDINANCE NO. O2026-

AN ORDINANCE OF THE CITY OF MITCHELL, THAT CHANGES THE ZONING DISTRICT CLASSIFICATION OF THE REAL PROPERTY LEGALLY DESCRIBED AS; Lot 1-A, a subdivision of a portion of previously platted Irregular Tract 1 in the SW ¼ of the SE ¼ of Section 21, T 103 N, R 60 W of the 5th P.M., City of Mitchell, Davison County, South Dakota; be changed from High Density Residential District to Highway Oriented Business District AND THE OFFICIAL ZONING MAP BE CHANGED TO REFLECT THE SAME.

BE IT ORDAINED BY THE CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA:

Section 1: THE ZONING DISTRICT CLASSIFICATION OF THE REAL PROPERTY LEGALLY DESCRIBED AS; Lot 1-A, a subdivision of a portion of previously platted Irregular Tract 1 in the SW ¼ of the SE ¼ of Section 21, T 103 N, R 60 W of the 5th P.M., City of Mitchell, Davison County, South Dakota; be changed from High Density Residential District to Highway Oriented Business District AND THE OFFICIAL ZONING MAP BE CHANGED TO REFLECT THE SAME.

Section 2. The City Finance Officer shall publish notice of this ordinance and the same shall be effective 20 days after the completed publication thereof, unless the referendum shall be invoked as provided by law.

Passed and approved this the _____ day of _____, 2026.

MAYOR

ATTEST:

FINANCE OFFICER

{SEAL}

FIRST READING: June 15, 2026
SECOND READING: July 6, 2026
ADOPTION: July 6, 2026

Published three times: May 27, 2026 and June 3 & 24, 2026
Approximate Costs:

Harris Properties LLC
2312 Dean Dr
Mitchell, SD 57301

Ethan Coop Lumber Company
Po Box 167
Ethan, SD 57334

Michael & Susan Sejnoha
614 S Isadore St
Mitchell, SD 57301

Ronald Traupel
620 S Isadore St
Mitchell, SD 57301

Danny & Dana Muck
615 S Iowa St
Mitchell, SD 57301

Cheryl Toribio
621 S Iowa St
Mitchell, SD 57301

Mentele Apartments LLC
708 S Anderson St
Mitchell, SD 57301

Daniel Fechner
618 S Iowa St
Mitchell, SD 57301

Floyd & Aurora Newell
812 W Elm Ave
Mitchell, SD 57301

Joan Honomichl
913 W Elm Ave
Mitchell, SD 57301

Troy & Roxanne Sipes
909 W Elm Ave
Mitchell, SD 57301

Alice Mentele
905 W Elm Ave
Mitchell, SD 57301

Jason & Melissa Seppala
700 S Iowa St
Mitchell, SD 57301

Richard & Delores Gould
145 N 74th St
Unit 110
Mesa, AZ 85207

Abigail Squier
Matthew Pearson
708 S Iowa St
Mitchell, SD 57301

Loren Mehlhaf
712 S Iowa St
Mitchell, SD 57301

Avera Queen of Peace
525 N Foster St
Mitchell, SD 57301

Dakota Mental Health Center Inc
910 W Havens Ave
Mitchell, SD 57301



May 27, 2026

TO WHOM IT MAY CONCERN:

YOU ARE HEREBY NOTIFIED that Harris Properties LLC is requesting the following properties legally described as; Lot 1-A, a subdivision of a portion of previously platted Irregular Tract 1 in the SW ¼ of the SE ¼ of Section 21, T 103 N, R 60 W of the 5th P.M., City of Mitchell, Davison County, South Dakota; be changed from High Density Residential District to Highway Oriented Business District AND THE OFFICIAL ZONING MAP BE CHANGED TO REFLECT THE SAME

YOU ARE FURTHER NOTIFIED that the City Planning Commission will be conducting a hearing on this application on Monday, June 8, 2026 at 12:00 p.m., the City Council will consider 1st Reading of the Ordinance on Monday, June 15, 2026 at 6:00 p.m. and 2nd Reading and Adoption on Monday, July 6, 2026 at 6:00p.m. all meetings will be held in the Council Chambers, City Hall, 612 N Main St, Mitchell, SD. All interested parties are encouraged to attend the meetings.

All interested parties may be present and be heard on said request, either in person or by agent. Please submit written comments by 5:00 P.M. the Friday prior to the meeting, in the City of Mitchell Public Works Office or Finance Office.

The complete application and all supporting documents can be found on the City of Mitchell's agenda center located @ <https://mitchellsd.portal.civicclerk.com/>. If you have any questions regarding this matter, you can reach Mark Jenniges at the above location and phone number or by email @ mark.jenniges@cityofmitchellsd.gov.

I/We Richard + Delores Gould
OWNER
704 S. Iowa
ADDRESS

APPROVE

DISAPPROVE

COMMENTS:



May 27, 2026

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I/We

Joan M Honomichl
OWNER
913 N. Elm Mitchell SD
ADDRESS

APPROVE

DISAPPROVE

COMMENTS:

No business building at the end of my block
I didn't get a say when the jail was put
over by Methodist Hosp - outside my backyard.
You give us no idea what *Outside expectations*
Kind of business you want - not much transparency



May 27, 2026

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I/We Loren Mehlhaf Loren Mehlhaf
OWNER
712 S. Iowa St
ADDRESS

APPROVE

DISAPPROVE

COMMENTS:

I Strongly DISAPPROVE. We do not need any more Traffic on This residential Street. This will lower our home Value and I still will have to pay

the Same amount for *Outside expectations* Property. also This Propert is Surround by residential Property on 3 sides



May 27, 2026

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I/We Floyd & Aurora Newell
OWNER
812 Elm Ave West
ADDRESS

APPROVE

DISAPPROVE

COMMENTS:

Do not want the extra traffic in residential area.



May 27, 2026

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I/We Troy + Roxanne Sipes
909 W Elm Ave -
OWNER
ADDRESS

APPROVE
 DISAPPROVE

COMMENTS:

*We do not want this re-zoned!
Thank you!*



TO: THE MITCHELL PLANNING COMMISSION AND CITY COUNCIL OR BOARD OF ADJUSTMENT, THE CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA.

The undersigned applicant(s) and owner(s) is hereby making an application pursuant to the provisions of the City of Mitchell Zoning Code.

The names and addresses of the current property owners within one hundred and forty feet (140') of the applicant's property (excluding streets and alleys) will be notified upon the filing of this application, plats being the exception.

Applicant(s) request that dates be set for public hearings before the Mitchell Planning Commission and City Council or City Board of Adjustment. Furthermore, the applicant(s) request the City of Mitchell to publish the appropriate notice(s) in accordance with the City of Mitchell's Ordinances.

Rezoning \$250 application due with the application.

- Applicant is request to rezone property from [Click or tap here to enter text.](#) District to [Click or tap here to enter text.](#) District.

Variance \$150 application fee due with application.

- Description of Variance: Combination of accessory buildings of 2,380 square feet vs 2,000 square feet.
- Description of Hardship: Needs room indoors to park 4 vehicles, one of which is an electric vehicle and needs a charging station and space to work on his vehicles.

Conditional Use Permit \$150 application fee due with application

- Description of Conditional Use: [Click or tap here to enter text.](#)

Plat Application \$100 application fee due with application

This Application is for the following described real property:

Legal Description: **Lot 11 & 12, Block 6, Fairview Addition, City of Mitchell, Davison County South Dakota.**

Property Address: **1420 E Birch Ave**

Dated this 18 of May, 2026.

APPLICANT

 Cory & Megumi Hauser
 OWNER

NOTICE OF HEARING

To: The Planning Commission, Board of Adjustment of the City of Mitchell, Mitchell South Dakota, and to the general public:

YOU ARE HEREBY NOTIFIED that Cory Hauser has applied for a Variance Permit for combination of accessory buildings of 2,380 square feet vs 2,000 square feet. This is located at 1420 E Birch Ave, legally described as Lot 11 and 12, Block 6, Fairview Addition, City of Mitchell, Davison County, South Dakota. The property is zoned R2 Single Family Residential District.

YOU ARE FURTHER NOTIFIED, that public hearings will be held by the City Planning Commission on Monday, June 8, 2026, 12:00 P.M. (Noon) and the Board of Adjustment on Monday, June 15, 2026 at 6:00 P.M., at the Council Chambers, Mitchell City Hall, 612 N Main St. All interested parties may attend the public hearings and provide comments in regards to the applicant's request.

Dated this 20th day of May, 2026.

Michelle Bathke

FINANCE OFFICER

Publish once: 27th day of May, 2026

Approximate Cost:

Cory & Megumi Hauser
1420 E Birch Ave
Mitchell, SD 57301

Clarke Companies LLC
47035 250th St
Baltic, SD 57003

Thomas & Trudy Pavlin
817 E Hanson Ave
Mitchell, SD 57301

Ricky & Sharon Youngbluth
1501 E Ash Ave
Mitchell, SD 57301

Bobbi Kurtenbach
Jason Kurtenbach
1505 E Ash Ave
Mitchell, SD 57301

Robert Shank
2501 W Havens Ave
Mitchell, SD 57301

Tory & Deborah Kaufman Irrevocable
Real Estate Trust
1125 Sunnyside Ct
Mitchell, SD 57301

Riley Harrington
1500 E Birch Ave
Mitchell, SD 57301

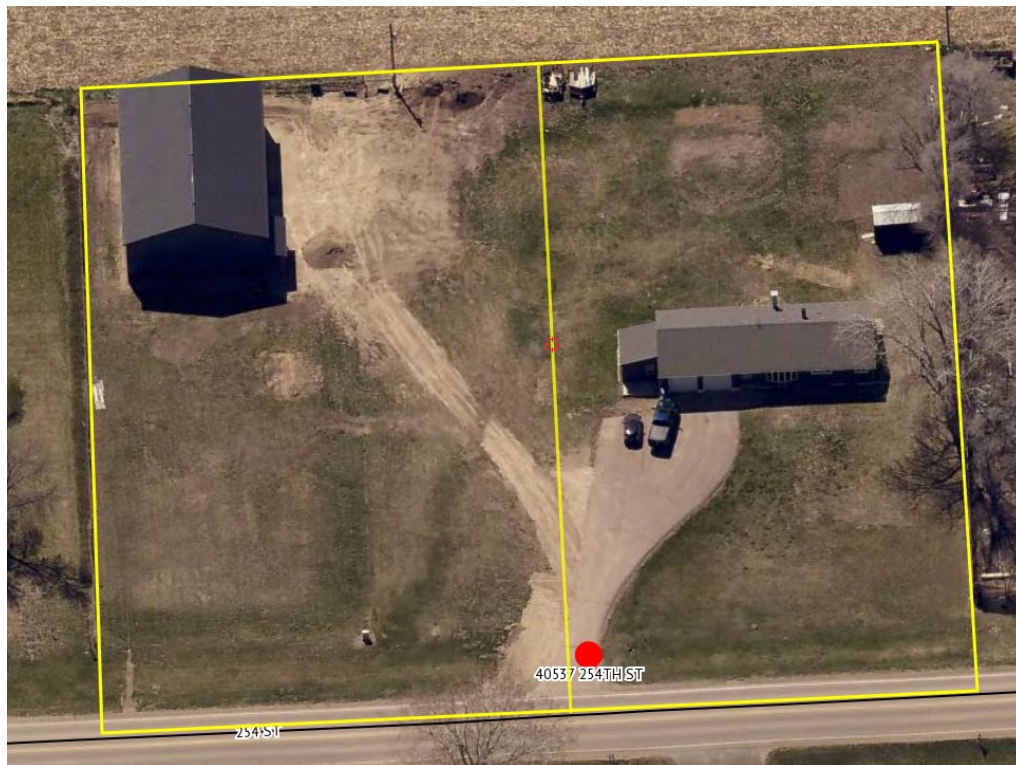
Elvina Maiden
PO Box 634
Mitchell, SD 57301

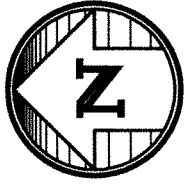
The Phoenix Community LLC
C/O Dan Reis
1401 E Birch Ave
Lot 15
Mitchell, SD 57301

Amanda & William Grochow
1501 E Birch Ave
Mitchell, SD 57301

Lars & Ronda Christenson
1503 E Birch Ave
Mitchell, SD 57301

Joey Munterfering
Josh Munterfering
1524 Pebble Beach Rd
Mitchell, SD 57301





1 Inch = 100 Feet

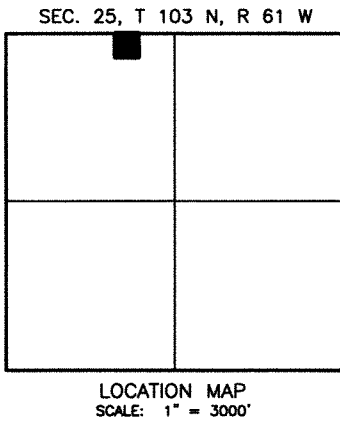
LEGEND

- = FOUND IRON MONUMENT
- = SET 5/8" X 18" REBAR WITH PLASTIC CAP NO. 13714
- 100' (P) = PLATTED BEARING OR DISTANCE
- 100' = MEASURED BEARING OR DISTANCE
- = SET NAIL
- ▲ = SET SURVEY SPIKE
- ▲ = FOUND SURVEY SPIKE
- 4.00 CH (P) = PLATTED DISTANCE IN CHAINS
- = FOUND NAIL
- ◇ = SET 3/8" x 12" SPIKE W/WASHER JAW-13714
- WM = WITNESS MONUMENT

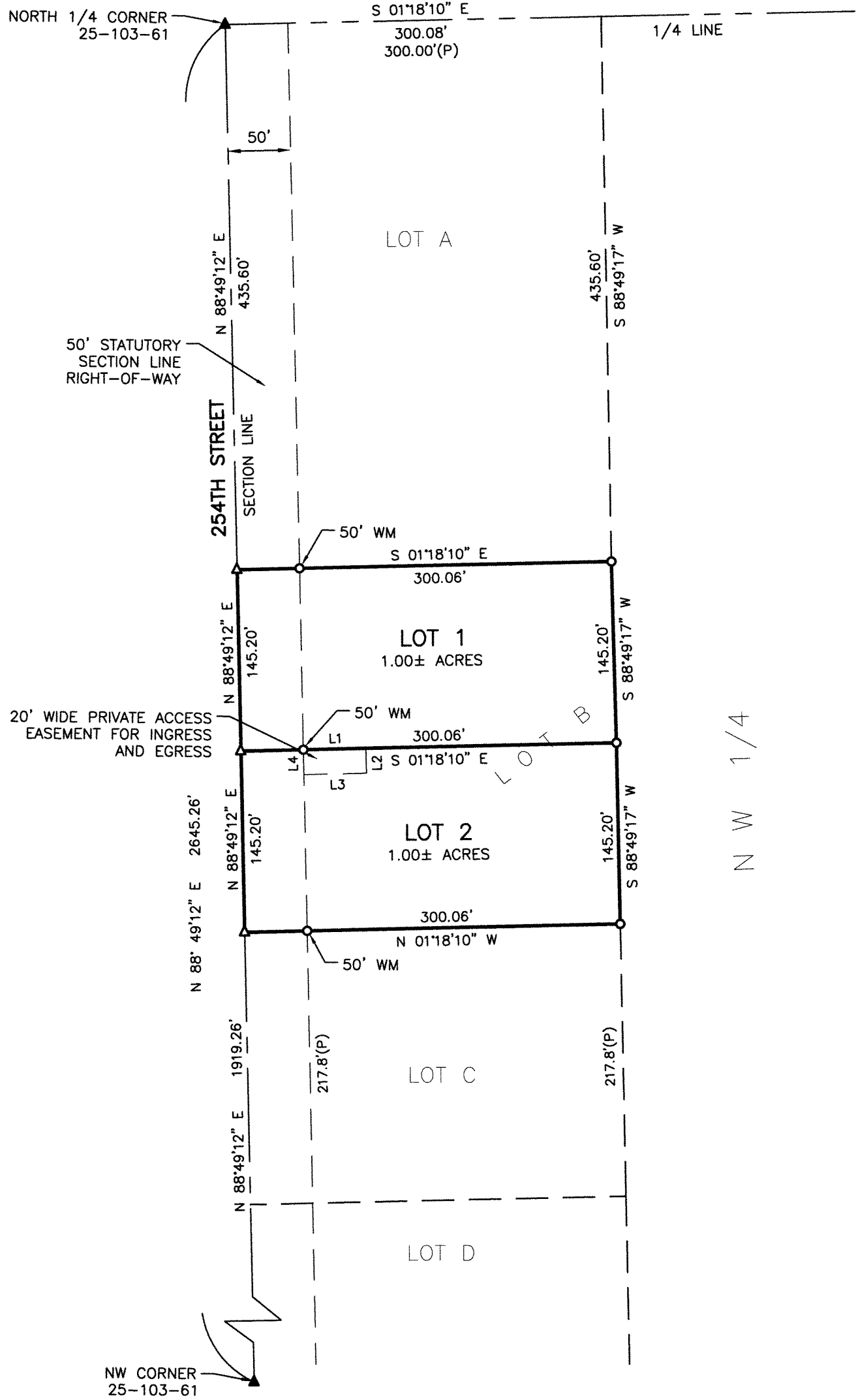
PREPARED BY: JEREMY A. WOLBRINK, R.L.S.
 2100 NORTH SANBORN BLVD. - P.O. BOX 398
 MITCHELL, SOUTH DAKOTA 57301
 PHONE: (605) 996-7761

COORDINATE SYSTEM IS SOUTH DAKOTA SOUTH ZONE,
 STATE PLANE - NORTH AMERICAN
 DATUM 1983 - GEOID 18.
 GRID BEARINGS AND GROUND DISTANCES ARE SHOWN.

NOTE:
 THIS SURVEY WAS PERFORMED WITHOUT
 THE BENEFIT OF A TITLE REPORT OR TITLE
 COMMITMENT. EASEMENTS OF RECORD WERE
 NOT RESEARCHED AND ARE NOT SHOWN
 UNLESS OTHERWISE NOTED.



Line Table		
Line #	Length	Direction
L1	50.00'	S 01°18'10" E
L2	20.00'	S 88°49'12" W
L3	50.00'	N 01°18'10" W
L4	20.00'	N 88°49'12" E



A PLAT OF LOTS 1 AND 2, A SUBDIVISION OF LOT B IN THE NW 1/4 OF SECTION 25, T 103 N, R 61 W OF THE 5TH P.M., DAVISON COUNTY, SOUTH DAKOTA

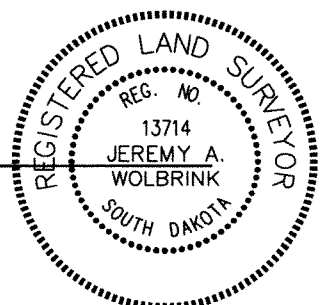
SURVEYOR'S CERTIFICATE

I, Jeremy A. Wolbrink, the undersigned, do hereby certify that I am a Registered Land Surveyor in the State of South Dakota. At the request of Bryan Dixon and Cynthia Dixon, and under their direction for purposes indicated therein, I did on or prior to May 6, 2026, survey those parcels of land described as follows: LOTS 1 AND 2, A SUBDIVISION OF LOT B IN THE NW 1/4 OF SECTION 25, T 103 N, R 61 W OF THE 5TH P.M., DAVISON COUNTY, SOUTH DAKOTA.

In my professional opinion and to the best of my knowledge, information and belief, the within and foregoing plat is true and correct.

Dated this 15th day of May, 2026.

Registered Land Surveyor #SD13714



& Associates
Engineers, Planners and Surveyors
 2100 North Sanborn Blvd. - P.O. Box 398 Mitchell, South Dakota 57301
 Phone: (605) 996-7761 Fax: (605) 996-0015

A PLAT OF LOTS 1 AND 2, A SUBDIVISION OF LOT B IN THE NW 1/4 OF SECTION 25, T 103 N, R 61 W OF THE 5TH P.M., DAVISON COUNTY, SOUTH DAKOTA

RESOLUTION OF CITY COUNCIL

WHEREAS, it appears that the City Planning Commission of the City of Mitchell, South Dakota, did duly consider and did recommend the approval and adoption of the hereinafter described plat, at its meeting held on the _____ day of _____, 2026; and

WHEREAS, it appears from an examination of the plat of LOTS 1 AND 2, A SUBDIVISION OF LOT B IN THE NW 1/4 OF SECTION 25, T 103 N, R 61 W OF THE 5TH P.M., DAVISON COUNTY, SOUTH DAKOTA, as prepared by Jeremy A. Wolbrink, a duly licensed Land Surveyor in and for the State of South Dakota, that said plat is in accordance with the system of streets and alleys set forth in the Master Plan adopted by the City Planning Commission of the City of Mitchell, South Dakota, and that such plat has been prepared according to law;

THEREFORE, be it resolved by the City Council of Mitchell, South Dakota, that the plat of LOTS 1 AND 2, A SUBDIVISION OF LOT B IN THE NW 1/4 OF SECTION 25, T 103 N, R 61 W OF THE 5TH P.M., DAVISON COUNTY, SOUTH DAKOTA, prepared by Jeremy A. Wolbrink, be and the same is hereby approved and the description set forth therein and the accompanying surveyor's certificate shall prevail.

The undersigned does hereby certify that the foregoing resolution was passed by the City of Mitchell, South Dakota, at a meeting held on the _____ day of _____, 2026.

Finance Officer/Deputy Finance Officer of the City of Mitchell

RESOLUTION OF COUNTY PLANNING COMMISSION

WHEREAS, the plat of LOTS 1 AND 2, A SUBDIVISION OF LOT B IN THE NW 1/4 OF SECTION 25, T 103 N, R 61 W OF THE 5TH P.M., DAVISON COUNTY, SOUTH DAKOTA, prepared by Jeremy A. Wolbrink, duly licensed Land Surveyor in and for the State of South Dakota, heretofore filed in the office of the County Auditor of Davison County, South Dakota, has been submitted to the County Planning Commission of the said County of Davison, South Dakota; and

WHEREAS, the County Planning Commission, in regular meeting assembled, had duly considered said plat and finds as a fact that said plat is in conformity and does not conflict with the Master Plan for the County of Davison, South Dakota, heretofore adopted by this Commission;

NOW THEREFORE, be it resolved by the County Planning Commission of Davison County, South Dakota, that the plat of LOTS 1 AND 2, A SUBDIVISION OF LOT B IN THE NW 1/4 OF SECTION 25, T 103 N, R 61 W OF THE 5TH P.M., DAVISON COUNTY, SOUTH DAKOTA, prepared by Jeremy A. Wolbrink, a Land Surveyor, be and the same is hereby approved and its adoption by the Board of Commissioners of the County of Davison, South Dakota, is hereby recommended.

The undersigned hereby certifies that the foregoing resolution was passed by the County Planning Commission of Davison County, South Dakota, at a meeting thereof held on the _____ day of _____, 2026.

Chairperson/Vice-Chairperson,
Davison County Planning Commission

RESOLUTION BY BOARD OF COUNTY COMMISSIONERS

Be it resolved by the Board of County Commissioners of Davison County, South Dakota, that the plat of LOTS 1 AND 2, A SUBDIVISION OF LOT B IN THE NW 1/4 OF SECTION 25, T 103 N, R 61 W OF THE 5TH P.M., DAVISON COUNTY, SOUTH DAKOTA, which has been submitted for examination pursuant to law, is hereby approved and the County Auditor is hereby authorized and directed to endorse on such plat a copy of this Resolution and certify the same.

Dated this _____ day of _____, 2026.

Chairperson/Vice-Chairperson,
Board of County Commissioners of Davison County



SPN

& Associates

Engineers, Planners and Surveyors

2100 North Sanborn Blvd. - P.O. Box 398 Mitchell, South Dakota 57301
Phone: (605) 996-7761 Fax: (605) 996-0015



TO: THE MITCHELL PLANNING COMMISSION AND CITY COUNCIL OR BOARD OF ADJUSTMENT, THE CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA.

The undersigned applicant(s) and owner(s) is hereby making an application pursuant to the provisions of the City of Mitchell Zoning Code.

The names and addresses of the current property owners within one hundred and forty feet (140') of the applicant's property (excluding streets and alleys) will be notified upon the filing of this application, plats being the exception.

Applicant(s) request that dates be set for public hearings before the Mitchell Planning Commission and City Council or City Board of Adjustment. Furthermore, the applicant(s) request the City of Mitchell to publish the appropriate notice(s) in accordance with the City of Mitchell's Ordinances.

Rezoning \$250 application due with the application.

- Applicant is request to rezone property from [Click or tap here to enter text.](#) District to [Click or tap here to enter text.](#) District.

Variance \$150 application fee due with application.

- Description of Variance: The Owner's planned residence sideyard is measured to be 4 feet vs. the 8 feet minimum standard set by active PUDs
- Description of Hardship: The Owner's planned residence is set to its dimension as such to fulfill the Owner's desired vision for their residence.

Conditional Use Permit \$150 application fee due with application

- Description of Conditional Use: [Click or tap here to enter text.](#)

Plat Application \$100 application fee due with application

This Application is for the following described real property:

Legal Description: LOT 2, BLOCK 2, MLC ADDITION, A SUBDIVISION OF BLOCK 3, MORNINGVIEW ADDITION TO THE CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA

Property Address: 605 West Pine Ave. Mitchell SD

Dated this 19th of May, 2026.

Mueller Lumber Company
APPLICANT

Dennis & Diane Hartman
OWNER

NOTICE OF HEARING

To: The Planning Commission, Board of Adjustment of the City of Mitchell, Mitchell South Dakota, and to the general public:

YOU ARE HEREBY NOTIFIED that Mueller Lumber Company on behalf of Dennis & Dianne Hartman have applied for a Variance Permit for east and west side yard setbacks of 4' vs 8'. This is located at 605 W Pine Ave, legally described as Lot 2, Block 2, MLC Addition, a subdivision of Block 3, Morningview Addition to the City of Mitchell, Davison County, South Dakota. The property is zoned Mueller Lumber Morningview Subdivision Planned Unit Development District.

YOU ARE FURTHER NOTIFIED, that public hearings will be held by the City Planning Commission on Monday, June 8, 2026, 12:00 P.M. (Noon) and the Board of Adjustment on Monday, June 15, 2026 at 6:00 P.M., at the Council Chambers, Mitchell City Hall, 612 N Main St. All interested parties may attend the public hearings and provide comments in regards to the applicant's request.

Dated this 20th day of May, 2026.

Michelle Bathke

FINANCE OFFICER

Publish once: 27th day of May, 2026
Approximate Cost:

Dennis & Dianne Hartman
660 E 54th Ave
Mitchell, SD 57301

Mueller Lumber Company
400 N Ohlman St
Mitchell, SD 57301

Lloyd Bauder
700 W Norway Ave
Mitchell, SD 57301

Linda Putnam
615 W Norway Ave
Mitchell, SD 57301

Leopaul Roy
Brenda Davenport
611 W Norway Ave
Mitchell, SD 57301

Kenneth Mayer
1601 S Wisconsin St
Mitchell, SD 57301

Lavin & Judy Vogel
Revoc Joint Living Trust
610 W Pine Ave
Mitchell, SD 57301

Donald & Sharon Bowman
608 W Pine Ave
Mitchell, SD 57301

Patricia Mccall Trust
606 W Pine Ave
Mitchell, SD 57301

Connor Brockhaus
40020 254th St
Mt Vernon, SD 57363

Dennis & Janice Welch
600 W Pine Ave
Mitchell, SD 57301

Dakota Wesleyan University
1200 W University Ave
Mitchell, SD 57301

Kenny & Nancy Wietgreffe
Joint Revoc Living Trust
611 W Pine Ave
Mitchell, SD 57301

Sanjay & Nilamben Chaudhari
607 W Pine Ave
Mitchell, SD 57301

Larry & Della Mathis
601 W Pine Ave
Mitchell, SD 57301

Boyd Reimnitz
817 N Sanborn Blvd
Mitchell, SD 57301



May 27, 2026

TO WHOM IT MAY CONCERN:

YOU ARE HEREBY NOTIFIED that Mueller Lumber Company on behalf of Dennis & Dianne Hartman have applied for a Variance Permit for east and west side yard setbacks of 4' vs 8'. This is located at 605 W Pine Ave, legally described as Lot 2, Block 2, MLC Addition, a subdivision of Block 3, Morningview Addition to the City of Mitchell, Davison County, South Dakota. The property is zoned Mueller Lumber Morning View Subdivision Planned Unit Development District.

YOU ARE FURTHER NOTIFIED that the City Planning Commission will be conducting a hearing and make their recommendation to the Board of Adjustment on this application on Monday, June 8, 2026, 12:00 P.M. (Noon) and the Board of Adjustment will render the final decision at a hearing on Monday, June 15, 2026 at 6:00 P.M, all meetings will be in the Council Chambers, City Hall, 612 N. Main St, Mitchell, SD. All interested parties may attend the hearings.

All interested parties may be present and be heard on said request, either in person or by agent. Please submit written comments by 5:00 P.M. the Friday prior to the meeting, in the City of Mitchell Public Works Office or Finance Office.

The complete application and all supporting documents can be found on the City of Mitchell's agenda center located @ <https://mitchellsd.portal.civicclerk.com/>. If you have any questions regarding this matter, you can reach Mark Jenniges at the above location and phone number or by email @ mark.jenniges@cityofmitchellsd.gov.

I/We

Scoryay & Milcomben Chaudhuri
OWNER

607 W Pine Ave Mitchell SD 57301
ADDRESS

APPROVE
 DISAPPROVE

Scoryay 6/2/2026

COMMENTS:

its our neighbour plot & according to rules we had set 8 feet back from property line so they should do the same and when I was building my house we were told to follow the rules *Outside expectations* so we did & we expect everyone should follow the same



LOT 1 OF DAILEY ADDITION

IN THE SOUTHWEST QUARTER (SW1/4) OF SECTION 11,
TOWNSHIP 103 NORTH, RANGE 60 WEST OF THE 5TH P.M.,
DAVISON COUNTY, SOUTH DAKOTA

RESOLUTION OF COUNTY PLANNING COMMISSION

WHEREAS, THE PLAT OF LOT 1 OF DAILEY ADDITION IN THE SOUTHWEST QUARTER (SW1/4) OF SECTION 11, TOWNSHIP 103 NORTH, RANGE 60 WEST OF THE 5TH P.M., DAVISON COUNTY, SOUTH DAKOTA, HERETOFORE FILED IN THE OFFICE OF THE COUNTY AUDITOR OF DAVISON COUNTY, SOUTH DAKOTA HAS BEEN SUBMITTED TO THE COUNTY PLANNING COMMISSION OF THE SAID COUNTY OF DAVISON, SOUTH DAKOTA; AND

WHEREAS, THE COUNTY PLANNING COMMISSION, IN REGULAR MEETING ASSEMBLED, HAD DULY CONSIDERED SAID PLAT AND FINDS AS A FACT THAT SAID PLAT IS IN CONFORMITY AND DOES NOT CONFLICT WITH THE MASTER PLAN FOR THE COUNTY OF DAVISON, SOUTH DAKOTA, HERETOFORE ADOPTED BY THIS COMMISSION;

NOW THEREFORE, BE IT RESOLVED BY THE COUNTY PLANNING COMMISSION OF DAVISON COUNTY, SOUTH DAKOTA, THAT THE PLAT OF LOT 1 OF DAILEY ADDITION IN THE SOUTHWEST QUARTER (SW1/4) OF SECTION 11, TOWNSHIP 103 NORTH, RANGE 60 WEST OF THE 5TH P.M., DAVISON COUNTY, SOUTH DAKOTA, PREPARED BY ROBERT D. KUMMER, A LAND SURVEYOR, BE AND THE SAME IS HEREBY APPROVED AND ITS ADOPTION BY THE BOARD OF COMMISSIONERS OF THE COUNTY OF DAVISON, SOUTH DAKOTA, IS HEREBY RECOMMENDED.

THE UNDERSIGNED HEREBY CERTIFIES THAT THE FOREGOING RESOLUTION WAS PASSED BY THE COUNTY PLANNING COMMISSION OF DAVISON COUNTY, SOUTH DAKOTA, AT A MEETING THEREOF HELD ON THE ____ DAY OF _____, 2026.

CHAIRMAN/VICE-CHAIRMAN OF DAVISON COUNTY PLANNING COMMISSION

RESOLUTION BY BOARD OF COUNTY COMMISSIONERS

BE IT RESOLVED BY THE BOARD OF COUNTY COMMISSIONERS OF DAVISON COUNTY, SOUTH DAKOTA, THAT THE PLAT OF LOT 1 OF DAILEY ADDITION IN THE SOUTHWEST QUARTER (SW1/4) OF SECTION 11, TOWNSHIP 103 NORTH, RANGE 60 WEST OF THE 5TH P.M., DAVISON COUNTY, SOUTH DAKOTA, WHICH HAS BEEN SUBMITTED FOR EXAMINATION PURSUANT TO LAW, IS HEREBY APPROVED AND THE COUNTY AUDITOR IS HEREBY AUTHORIZED AND DIRECTED TO ENDORSE ON SUCH PLAT A COPY OF THIS RESOLUTION AND CERTIFY THE SAME.

DATED THIS ____ DAY OF _____, 2026.

CHAIRPERSON/VICE CHAIRPERSON, BOARD OF COUNTY COMMISSIONERS
DAVISON COUNTY, SOUTH DAKOTA

AUDITOR'S CERTIFICATE

I, _____, DO HEREBY CERTIFY THAT I AM THE DULY ELECTED, QUALIFIED, AND ACTING COUNTY AUDITOR OF DAVISON COUNTY, SOUTH DAKOTA, AND THAT THE ABOVE RESOLUTION WAS ADOPTED BY THE BOARD OF COUNTY COMMISSIONERS OF DAVISON COUNTY, SOUTH DAKOTA AT A REGULAR MEETING HELD ON _____, 2026, APPROVING THE ABOVE PLAT.

AUDITOR/DEPUTY AUDITOR, DAVISON COUNTY, SOUTH DAKOTA

COUNTY TREASURER'S CERTIFICATE

I HEREBY CERTIFY THAT ALL TAXES WHICH ARE LIENS UPON ANY LAND INCLUDED IN THE ABOVE (AND THE FOREGOING) PLAT, AS SHOWN BY THE RECORDS OF MY OFFICE, HAVE BEEN FULLY PAID.

DATED THIS ____ DAY OF _____, 2026.

COUNTY TREASURER/DEPUTY TREASURER
DAVISON COUNTY, SOUTH DAKOTA

DIRECTOR OF EQUALIZATION

I HEREBY CERTIFY THAT A COPY OF THE PLAT OF LOT 1 OF DAILEY ADDITION IN THE SOUTHWEST QUARTER (SW1/4) OF SECTION 11, TOWNSHIP 103 NORTH, RANGE 60 WEST OF THE 5TH P.M., DAVISON COUNTY, SOUTH DAKOTA, HAS BEEN RECEIVED BY ME AND FILED IN MY OFFICE.

DIRECTOR OF EQUALIZATION/DEPUTY DIRECTOR OF EQUALIZATION
DAVISON COUNTY, SOUTH DAKOTA

REGISTER OF DEEDS

FILED FOR RECORD THIS ____ DAY OF _____, 2026, AT _____

O'CLOCK __.M., AND RECORDED IN BOOK _____ OF PLATS ON PAGE _____.

REGISTER OF DEEDS/DEPUTY REGISTER OF DEEDS
DAVISON COUNTY, SOUTH DAKOTA

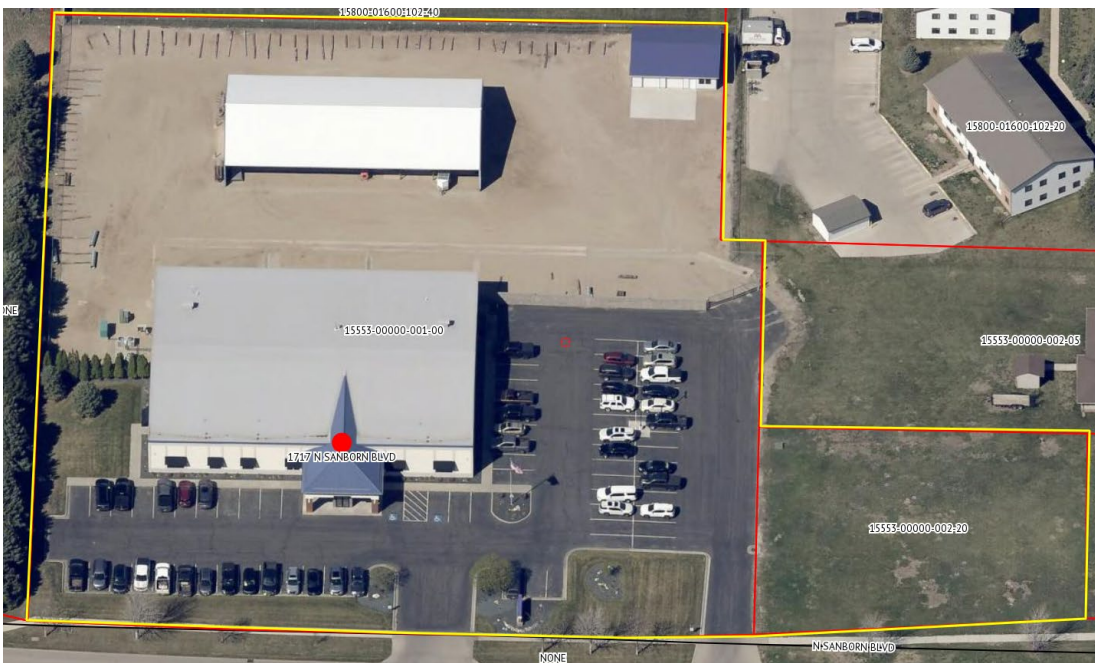
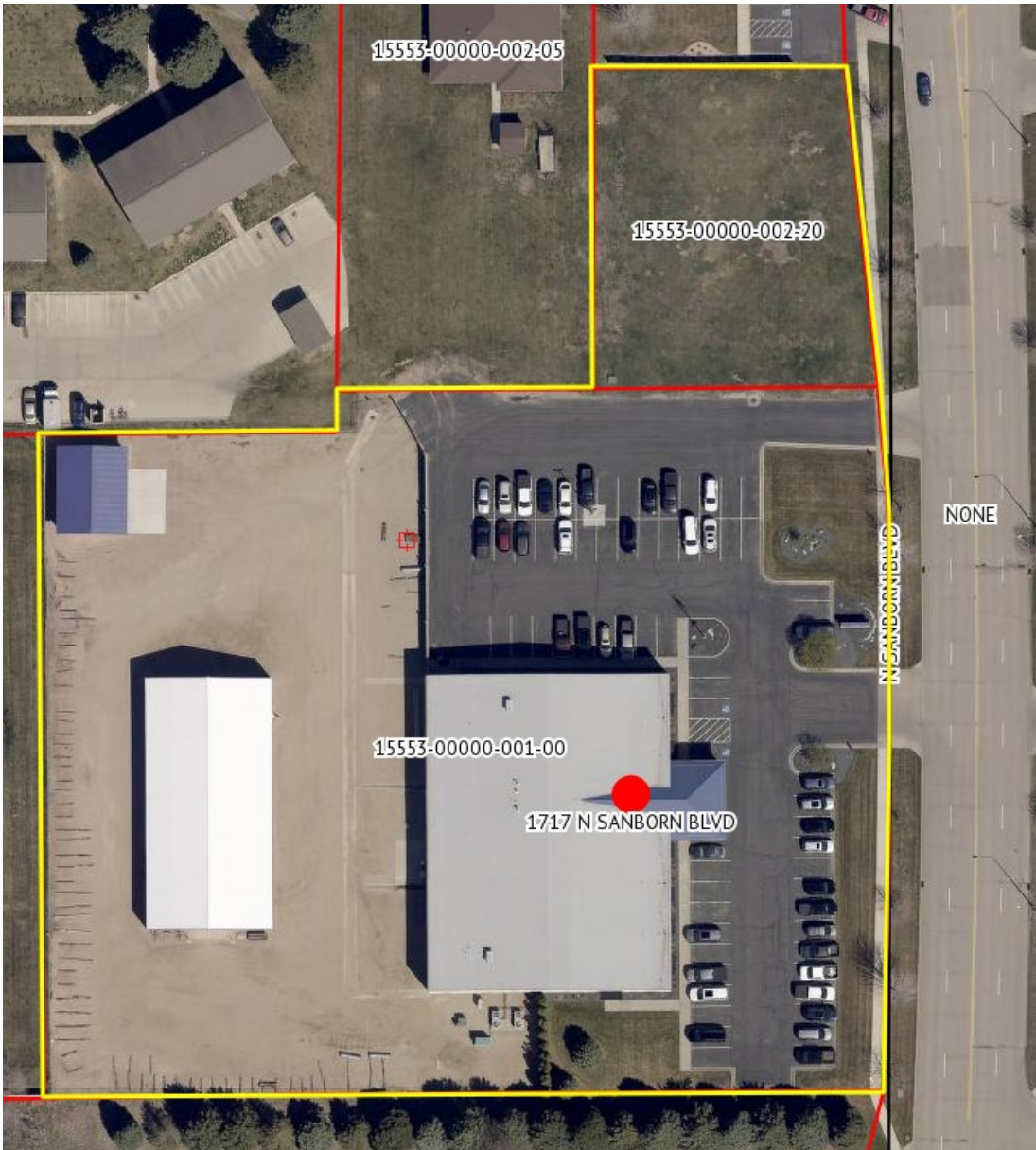
PROJ. NO.: 26018
DATE: 05/18/2026
DRAWN BY: BTC
CHECKED BY: FDK
SHEET NO.: 3 OF 3

LOT 1 OF DAILEY ADDITION
IN THE SOUTHWEST QUARTER (SW1/4) OF SECTION 11,
TOWNSHIP 103 NORTH, RANGE 60 WEST OF THE 5TH P.M.,
DAVISON COUNTY, SOUTH DAKOTA

520 N. LAWLER ST
MITCHELL, SD 57301
PHONE: 605-271-5527
WEB: infrastructureg.com

PREPARED BY:

infrastructure
design group, inc.



ABBREVIATIONS:

A	A.B. ANCHOR BOLT A/C AIR COND. A.H.U. AIR HAND UNIT ACT. ACQUSET. TILE ADJ. ADJUSTABLE AFF. ABOVE FIN. FL. ALUM. ALUMINUM ALT. ALTERNATE ANC. ANCHOR ATC. ADJ. CEILING APC. ACQUSET. PANEL CEILING	F F.D. FLOOR DRAIN F.E. FIRE EXTING. F.E.C. FIRE EXT. CAB. F.O.F. FACE OF FIN. FDN. FOUNDATION FIN. FINISH FL. FLOOR FLASH. FLASHING FR. FRAME FT. FOOT OR FEET FTG. FOOTING FURR. FURRING	R R. RISER R.D. ROOF DRAIN R.O. ROUGH OPENING R.V. ROOF VENT RAD. RADIUS REC. RECEPICAL REF. REFRIGERATOR REFL. REFLECTED RENF. REINFORCED REM. REMOVABLE REQ. REQUIRED RESIL. RESILIENT RM. ROOM S.B. SPLASH BLOCK S.C. SOLID CORE S.D. SOAP DISPENSER S/S STAINLESS STEEL SCHED. SCHEDULE SECT. SECTION SHR. SHOWER SHT. SHEET SHT.V. SHEET VINYL SHTG. SHEATHING SIM. SIMILAR SPEC. SPECIFICATION SQ. SQUARE STD. STANDARD STL. STEEL STR. STRUCTURAL SUSP. SUSPENDED SW. SWITCH SYM. SYMMETRICAL	PL. PLASTER PWD. PLYWOOD PT. PAINT Q.T. QUARRY TILE R. RISER R.D. ROOF DRAIN R.O. ROUGH OPENING R.V. ROOF VENT RAD. RADIUS REC. RECEPICAL REF. REFRIGERATOR REFL. REFLECTED RENF. REINFORCED REM. REMOVABLE REQ. REQUIRED RESIL. RESILIENT RM. ROOM S.B. SPLASH BLOCK S.C. SOLID CORE S.D. SOAP DISPENSER S/S STAINLESS STEEL SCHED. SCHEDULE SECT. SECTION SHR. SHOWER SHT. SHEET SHT.V. SHEET VINYL SHTG. SHEATHING SIM. SIMILAR SPEC. SPECIFICATION SQ. SQUARE STD. STANDARD STL. STEEL STR. STRUCTURAL SUSP. SUSPENDED SW. SWITCH SYM. SYMMETRICAL T. THICK (THICKNESS) T.B. TOWEL BAR T.BD. SOAP DISPENSER T.O.C. STAINLESS STEEL T.O.F. TOP OF FOOTING T.O.S. TOP OF STEEL T & G TONGUE AND GRVE. T.P.D. TOILET PAPER DISP. TV. TELEVISION TEL. TELEPHONE TER. TERRAZZO TYP. TYPICAL UNF. UNFINISHED UR. URINAL V. VOLT V.B. VAPOR BARRIER VI. VINYL V.W.C. VI. WALL COVERING V.C.T. VI. COMP. TLE VERT. VERTICAL V.S.G.B. VI. SURF. GYP. BD. W. WATT WI. WITH W.C. WATER CLOSET WO. WITHOUT WD. WOOD WOTH. WIDTH WH. WALL HUNG WP. WATERPROOF WSCOT. WAINSCOT WS. WATER SOFTENER WT. WEIGHT
B	B.M. BENCH MARK B.N. BULL NOSE BD. BOARD BIT. BITUMINOUS BLDG. BUILDING BLK. BLOCK BLKG. BLOCKING BM. BEAM BOT. BOTTOM BRG. BEARING B.T. BATH TUB C.J. CONTROL JOINT C.T. CERAMIC TILE CAB. CABINET CH. BD. CHALK BOARD CR. CIRCULAR CLG. CEILING CLR. CLEAR CMU CONC. MAS. UNIT COL. COLUMN COMP. COMPARTMENT CONC. CONCRETE CONSTR. CONSTRUCTION CONT. CONTINUOUS CONTR. CONTRACTOR CORR. CORRUGATED CPT. CARPET CU. COPPER	G G.B. GRAB BAR G.C. GEN. CONTR. GA. GAUGE GALV. GALVANIZED GL. GLASS GR. GRADE GWB. GYP. WALLBD. GWC. GLAZED WALL COATING	S S.B. SPLASH BLOCK S.C. SOLID CORE S.D. SOAP DISPENSER S/S STAINLESS STEEL SCHED. SCHEDULE SECT. SECTION SHR. SHOWER SHT. SHEET SHT.V. SHEET VINYL SHTG. SHEATHING SIM. SIMILAR SPEC. SPECIFICATION SQ. SQUARE STD. STANDARD STL. STEEL STR. STRUCTURAL SUSP. SUSPENDED SW. SWITCH SYM. SYMMETRICAL T T. THICK (THICKNESS) T.B. TOWEL BAR T.BD. SOAP DISPENSER T.O.C. STAINLESS STEEL T.O.F. TOP OF FOOTING T.O.S. TOP OF STEEL T & G TONGUE AND GRVE. T.P.D. TOILET PAPER DISP. TV. TELEVISION TEL. TELEPHONE TER. TERRAZZO TYP. TYPICAL UNF. UNFINISHED UR. URINAL V. VOLT V.B. VAPOR BARRIER VI. VINYL V.W.C. VI. WALL COVERING V.C.T. VI. COMP. TLE VERT. VERTICAL V.S.G.B. VI. SURF. GYP. BD. W. WATT WI. WITH W.C. WATER CLOSET WO. WITHOUT WD. WOOD WOTH. WIDTH WH. WALL HUNG WP. WATERPROOF WSCOT. WAINSCOT WS. WATER SOFTENER WT. WEIGHT	
C	C.H. BD. CHALK BOARD CR. CIRCULAR CLG. CEILING CLR. CLEAR CMU CONC. MAS. UNIT COL. COLUMN COMP. COMPARTMENT CONC. CONCRETE CONSTR. CONSTRUCTION CONT. CONTINUOUS CONTR. CONTRACTOR CORR. CORRUGATED CPT. CARPET CU. COPPER	H H. HEIGHT H.C. HOLLOW CORE H.M. HOLLOW METAL HDCPD. HANDICAPPED HORIZ. HORIZONTAL HT. HEIGHT HTG. HEATING HVAC. HEAT/VENT/AC I.D. INSIDE DIAM. (DIM.) INSUL. INSULATION INT. INTERIOR J.B. JUNCTION BOX JST. JOIST JT. JOINT L. LAM. LAM. LAMINATE LAV. LAVATORY LTG. LIGHTING LWCMU. LIGHTWEIGHT CONCRETE MASONRY UNIT	J J.B. JUNCTION BOX JST. JOIST JT. JOINT L L. LAM. LAM. LAMINATE LAV. LAVATORY LTG. LIGHTING LWCMU. LIGHTWEIGHT CONCRETE MASONRY UNIT M M.C. MECH. CONTR. M.O. MASONRY OPENING MAX. MAXIMUM MECH. MECHANICAL MED.C. MEDICINE CAB. MET. METAL MFR. MANUFACTURER MIN. MINIMUM MISC. MISCELLANEOUS MTD. MOUNTED MUL. MILLION N.E.C. NAT. ELEC. CODE N.I.C. NOT IN CONTRACT N.T.S. NOT TO SCALE NO. NUMBER NOM. NOMINAL O.C. ON CENTER O.D. OUTSIDE DIA. (DIM.) O.F. OUTSIDE FACE OH. OVERHEAD P P.LAM. PLASTIC LAM. P.L. PROPERTY LINE P.S.F. LBS. PER SQ. FT. P.S.I. LBS. PER SQ. IN. P.T.D. PAPER TWL. DISP. PART BD. PARTICLE BOARD	U UNF. UNFINISHED UR. URINAL V. VOLT V.B. VAPOR BARRIER VI. VINYL V.W.C. VI. WALL COVERING V.C.T. VI. COMP. TLE VERT. VERTICAL V.S.G.B. VI. SURF. GYP. BD. W. WATT WI. WITH W.C. WATER CLOSET WO. WITHOUT WD. WOOD WOTH. WIDTH WH. WALL HUNG WP. WATERPROOF WSCOT. WAINSCOT WS. WATER SOFTENER WT. WEIGHT
D	D.F. DRINK FOUNT. D.T. DOUBLE TEE DBL. DOUBLE DET. DETAIL DIA. DIAMETER DIM. DIMENSION DISP. DISPENSER DN. DOWN DR. DOOR DS. DOWNSPOUT DW. DISHWASHER DWL. DWEL. DWG. DRAWING DWR. DRAWER E.J. EXP. JOINT E.C. ELEC. CONTR. E.W.C. ELEC. WATER COOLER E.W. EACH WAY EA. EACH EL. ELEVATION ELEC. ELECTRICAL ELEV. ELEVATOR EQ. EQUAL EQPT. EQUIPMENT EXP. EXPANSION EXPO. EXPOSED	I I.D. INSIDE DIAM. (DIM.) INSUL. INSULATION INT. INTERIOR J.B. JUNCTION BOX JST. JOIST JT. JOINT L L. LAM. LAM. LAMINATE LAV. LAVATORY LTG. LIGHTING LWCMU. LIGHTWEIGHT CONCRETE MASONRY UNIT M M.C. MECH. CONTR. M.O. MASONRY OPENING MAX. MAXIMUM MECH. MECHANICAL MED.C. MEDICINE CAB. MET. METAL MFR. MANUFACTURER MIN. MINIMUM MISC. MISCELLANEOUS MTD. MOUNTED MUL. MILLION N.E.C. NAT. ELEC. CODE N.I.C. NOT IN CONTRACT N.T.S. NOT TO SCALE NO. NUMBER NOM. NOMINAL O.C. ON CENTER O.D. OUTSIDE DIA. (DIM.) O.F. OUTSIDE FACE OH. OVERHEAD P P.LAM. PLASTIC LAM. P.L. PROPERTY LINE P.S.F. LBS. PER SQ. FT. P.S.I. LBS. PER SQ. IN. P.T.D. PAPER TWL. DISP. PART BD. PARTICLE BOARD	J J.B. JUNCTION BOX JST. JOIST JT. JOINT L L. LAM. LAM. LAMINATE LAV. LAVATORY LTG. LIGHTING LWCMU. LIGHTWEIGHT CONCRETE MASONRY UNIT M M.C. MECH. CONTR. M.O. MASONRY OPENING MAX. MAXIMUM MECH. MECHANICAL MED.C. MEDICINE CAB. MET. METAL MFR. MANUFACTURER MIN. MINIMUM MISC. MISCELLANEOUS MTD. MOUNTED MUL. MILLION N.E.C. NAT. ELEC. CODE N.I.C. NOT IN CONTRACT N.T.S. NOT TO SCALE NO. NUMBER NOM. NOMINAL O.C. ON CENTER O.D. OUTSIDE DIA. (DIM.) O.F. OUTSIDE FACE OH. OVERHEAD P P.LAM. PLASTIC LAM. P.L. PROPERTY LINE P.S.F. LBS. PER SQ. FT. P.S.I. LBS. PER SQ. IN. P.T.D. PAPER TWL. DISP. PART BD. PARTICLE BOARD	U UNF. UNFINISHED UR. URINAL V. VOLT V.B. VAPOR BARRIER VI. VINYL V.W.C. VI. WALL COVERING V.C.T. VI. COMP. TLE VERT. VERTICAL V.S.G.B. VI. SURF. GYP. BD. W. WATT WI. WITH W.C. WATER CLOSET WO. WITHOUT WD. WOOD WOTH. WIDTH WH. WALL HUNG WP. WATERPROOF WSCOT. WAINSCOT WS. WATER SOFTENER WT. WEIGHT
E	E.J. EXP. JOINT E.C. ELEC. CONTR. E.W.C. ELEC. WATER COOLER E.W. EACH WAY EA. EACH EL. ELEVATION ELEC. ELECTRICAL ELEV. ELEVATOR EQ. EQUAL EQPT. EQUIPMENT EXP. EXPANSION EXPO. EXPOSED	O O.C. ON CENTER O.D. OUTSIDE DIA. (DIM.) O.F. OUTSIDE FACE OH. OVERHEAD P P.LAM. PLASTIC LAM. P.L. PROPERTY LINE P.S.F. LBS. PER SQ. FT. P.S.I. LBS. PER SQ. IN. P.T.D. PAPER TWL. DISP. PART BD. PARTICLE BOARD	W W. WATT WI. WITH W.C. WATER CLOSET WO. WITHOUT WD. WOOD WOTH. WIDTH WH. WALL HUNG WP. WATERPROOF WSCOT. WAINSCOT WS. WATER SOFTENER WT. WEIGHT	

MATERIALS SYMBOLS

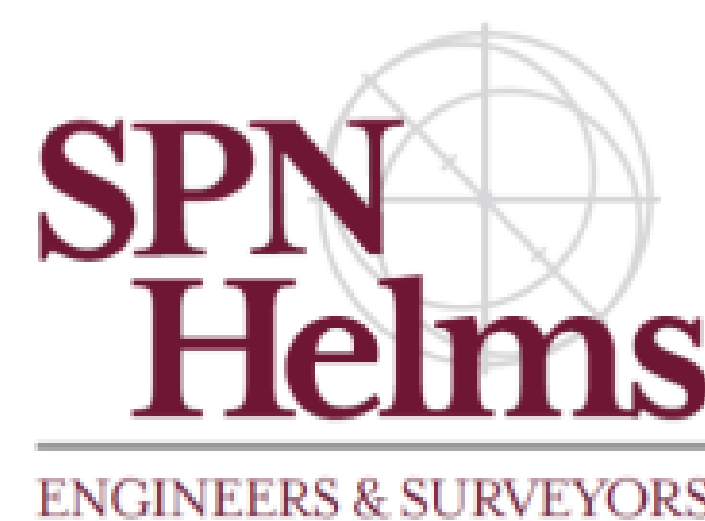
This is a standard list. Not all materials are used in the project.

STONE		CUT STONE
EARTH, etc.		EARTH
		GRAVEL OR FILL
METALS		METAL
		METAL STUD
MISC.		GLASS
		GYP. BOARD
CONCRETE		POURED CONCRETE
		PRECAST CONCRETE
		LIGHT WT. CONCRETE
INSULATION		BATT OR LOOSE FILL
		RIGID INSULATION
		ACOUSTICAL TILE
MASONRY		BRICK
		LW CMU PARTITION
		STRUCTURAL GLAZED TILE
		CMU
WOOD		FINISH
		BLOCKING
		PLYWOOD
		WOOD STUD PARTITION

DETAIL INDICATION

	BUILDING SECTION PLAN REFERENCE		ELEVATIONS
	DETAIL PLAN REFERENCE		TEST BORING
	ELEVATION PLAN REFERENCE		NEW SPOT ELEVATION
	DOOR NUMBER		EXISTING SPOT ELEVATION
	KEYED NOTE		ROOM NUMBER
	REVISION NUMBER		WINDOW REF.
	EXISTING CONTOURS		EQUIPMENT NUMBER
	NEW CONTOURS		REFERENCE GRID

CIVIL ENGINEER:



STRUCTURAL ENGINEER:



MECHANICAL ENGINEER:

N.I.C.

ELECTRICAL ENGINEER:

N.I.C.

Revisions

Drawings and other documents, prepared by the Architect and the Architect's consultants are 'Instruments of Service' for use solely with respect to this Project. The Architect and the Architect's consultants shall be deemed the authors and owners of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights. The 'Instruments of Service' and limited to a one-time use as indicated on this projects construction documents and may not be reused without written permission from authors/owners of the respective Instruments of Service.

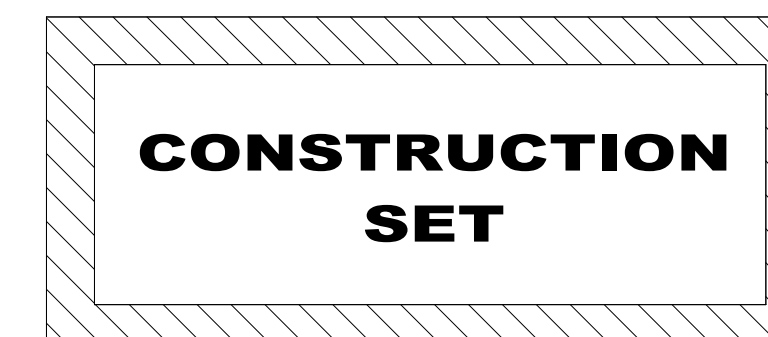
Muth Electric Inc.

Muth Office Addition

**1717 N Sanborn Blvd.
Mitchell, SD 57301**



VanDeWalle Architects LLC
ARCHITECTURE • PLANNING • INTERIORS
Sioux Falls, S.D. 605-339-4411

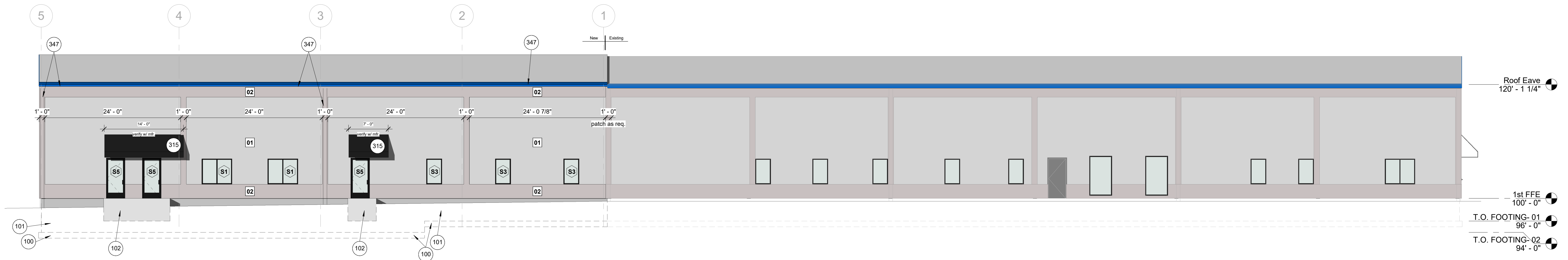


05.15.2026

**1717 N Sanborn Blvd.
Mitchell, SD 57301**

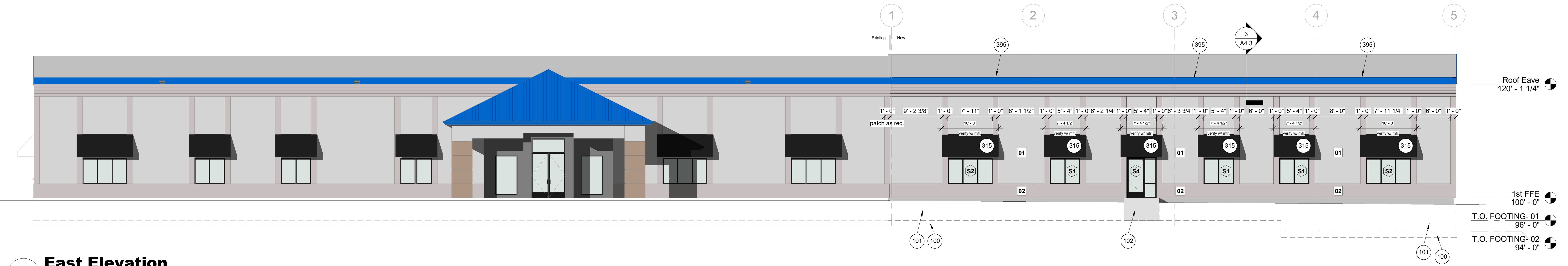
Muth Office Addition

23021



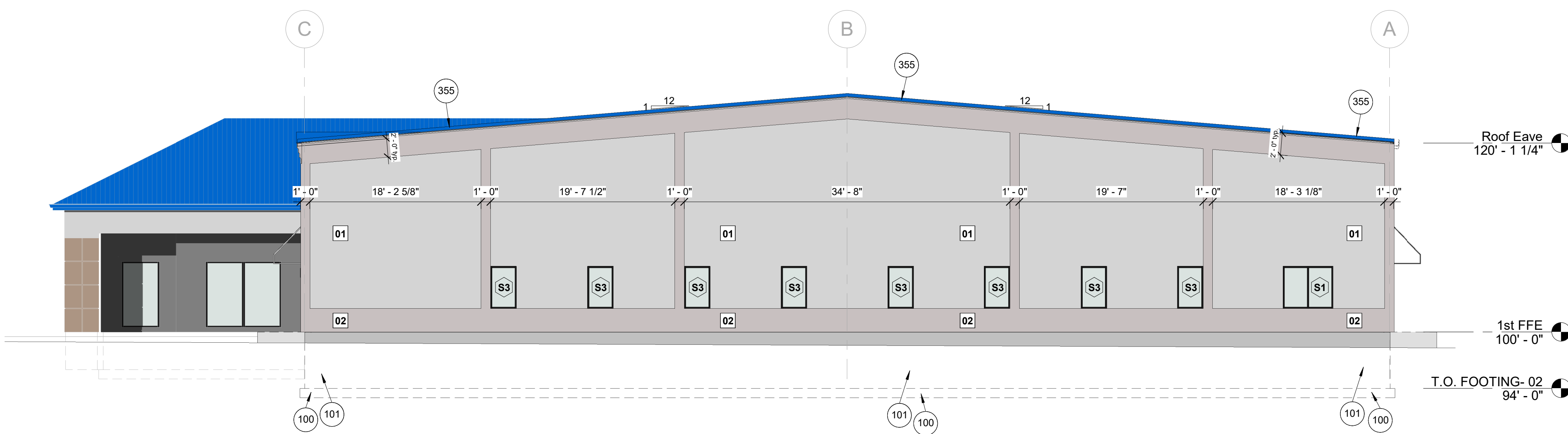
1 West Elevation

Scale: 1/8" = 1'-0"



2 East Elevation

Scale: 1/8" = 1'-0"



3 North Elevation

Scale: 1/8" = 1'-0"

Plan Notes

- 100 Poured concrete footing. See structural. See soils report for over excavation.
- 101 Poured concrete foundation. See structural. See soils report for over excavation.
- 102 Poured concrete stoop. See structural. Slope away from doorway at 1/8" slope per foot.
- 315 Fabric awning to match existing.
- 347 Prefinished high capacity aluminum gutters and downspouts. Provide flashing as required. Color to match existing. Verify locations with contractor.
- 355 Prefinished metal flashing. Color to match existing.
- 395 Prefinished metal cap flashing. Color to match existing.

CONSTRUCTION SET



Muth Electric Inc.

Muth Office Addition
1717 N Sanborn Blvd.
Mitchell, SD 57301

Exterior Elevations

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Project No. 23021	Revisions	A3.0
Date: 05.15.2026		
Drawn By: APG		





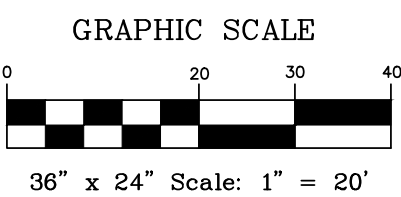
1 Overall Perspective- 01
Scale: NTS



2 Overall Perspective- 02
Scale: NTS



CONSTRUCTION SET	
 VanDeWalle Architects	
<i>Muth Electric Inc.</i>	
<small>Muth Office Addition 1717 N Sanborn Blvd. Mitchell, SD 57301</small>	
Exterior Perspectives	
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<small>Project No. 23021</small>	<small>Revisions</small>
<small>Date: 05.15.2026</small>	A3.1
<small>Drawn By: APG</small>	



BENCHMARK & CONTROL POINT DATA:

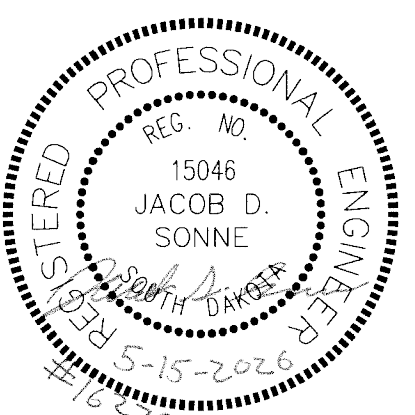
BENCHMARK FH:	TOP NUT OF FIRE HYDRANT NW OF EXISTING BUILDING ELEV = 1307.66
CONTROL POINT #400:	CAPPED REBAR 94' NE OF EXISTING BUILDING N: 516223.740 E: 2577245.822 ELEV = 1306.337
CONTROL POINT #900:	CAPPED REBAR 117' SE OF EXISTING BUILDING N: 515965.483 E: 2577287.065 ELEV = 1305.840
CONTROL POINT #901:	CAPPED REBAR 54' SOUTH OF EXISTING BUILDING N: 515958.210 E: 2577115.586 ELEV = 1306.667
CONTROL POINT #902:	CAPPED REBAR 129' SW OF EXISTING BUILDING N: 515952.328 E: 2576949.451 ELEV = 1307.538
CONTROL POINT #903:	CAPPED REBAR 176' WEST OF EXISTING BUILDING N: 516109.471 E: 2576885.086 ELEV = 1306.284

LEGEND

	= EXISTING SANITARY SEWER MANHOLE
	= EXISTING SANITARY SEWER CLEANOUT
	= EXISTING FIRE HYDRANT
	= EXISTING WATER VALVE
	= EXISTING STORM SEWER MANHOLE
	= SIGN
	= FLAG POLE
	= LIGHT POLE / LIGHT
	= GROUND LIGHT
	= EXISTING SANITARY SEWER LINE
	= EXISTING WATER LINE
	= EXISTING STORM SEWER LINE
	= EXISTING FIBER OPTIC LINE
	= EXISTING UNDERGROUND ELECTRIC LINE
	= EXISTING CONTOUR
	= CONCRETE SURFACE
	= ASPHALT SURFACE
	= GRAVEL SURFACE
	= LANDSCAPING ROCK
	= EXISTING BUILDING
	= PROPERTY LINE
	= ADJACENT PROPERTY LINE

LEGAL DESCRIPTION:
LOT 2, EXCEPT THE WEST 300' AND EXCEPT THE NORTH 20' THEREOF, BEING A REPLAT OF LOT 4 OF A REPLAT OF LOT 100, AND THAT PORTION OF LOT 1 OF PRAIRIEVIEW SUBDIVISION LYING WEST OF LOT H1; BEING A REPLAT OF LOT 3, A REPLAT OF LOT 4 OF A REPLAT OF LOT 100, AND LOT 2B, A SUBDIVISION OF A PORTION OF LOT 2; ALL IN PRAIRIEVIEW SUBDIVISION IN THE NE 1/4 OF SECTION 16, T 103 N, R 60 W OF THE 5TH P.M., CITY OF MITCHELL, DAVISON COUNTY, SOUTH DAKOTA.

NOTE CONCERNING UNDERGROUND UTILITIES:
ALL UNDERGROUND UTILITIES ARE BASED ON FIELD LOCATE PEOPLE AS OF 3-10-2026. UTILITY LINES WERE CREATED FROM THOSE MARKINGS. CONVERSATIONS WITH THE UTILITY LOCATE PEOPLE AND EXISTING UTILITY MAPS. UTILITY LOCATIONS SHOULD BE VERIFIED IN THE FIELD BEFORE CONSTRUCTION.



SUBMITTAL SET
NOT FOR CONSTRUCTION



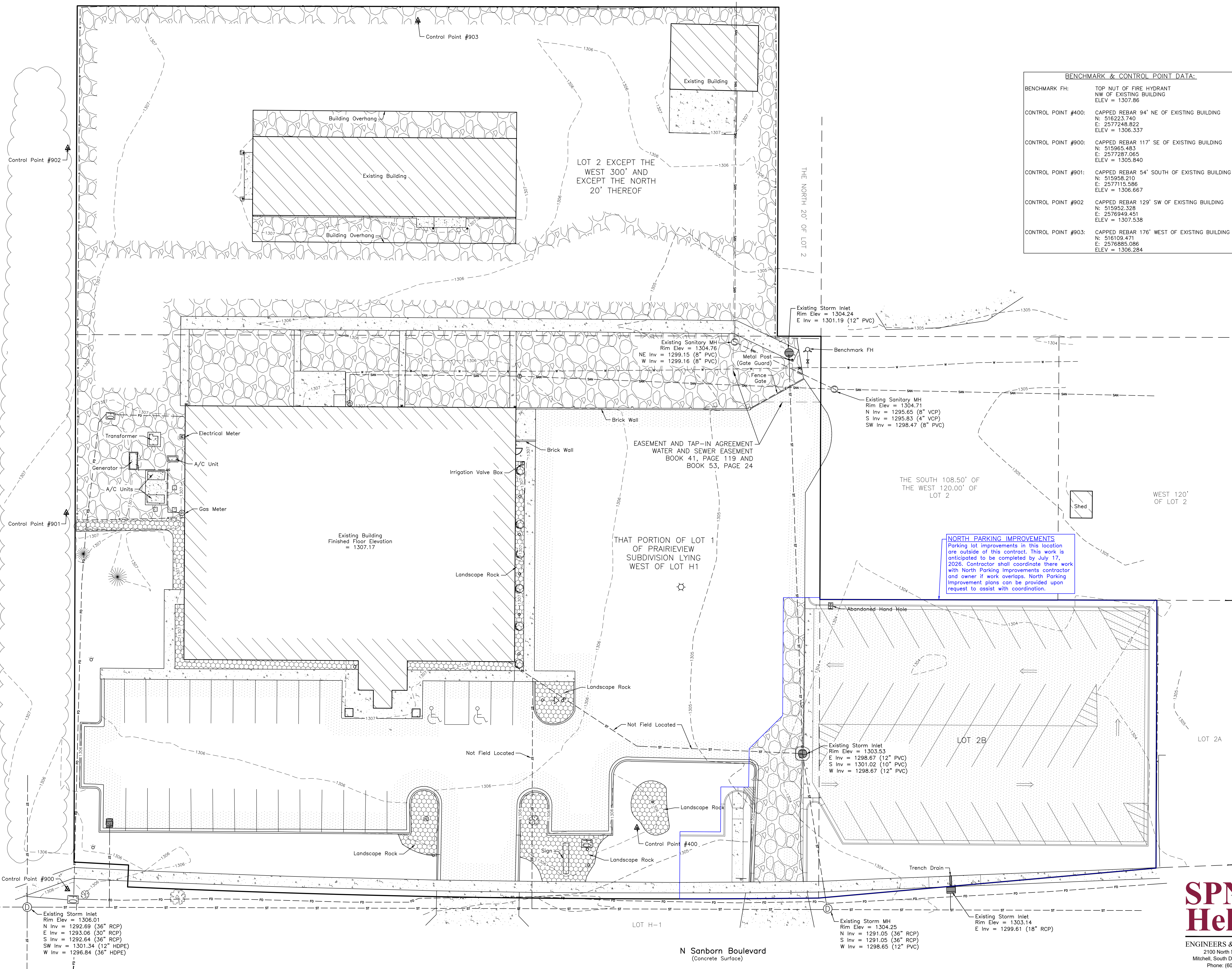
Muth Electric Inc.

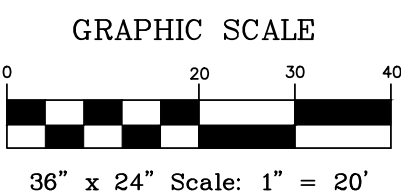
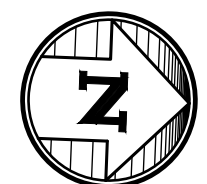
Muth Electric Inc. Corporate Office Addition
1717 North Sanborn Blvd
Mitchell, SD

Existing Topographic Survey

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Project No. 16278	Revisions	C1.0
Date: 05/15/26		
Drawn By: NAP		





BENCHMARK & CONTROL POINT DATA:

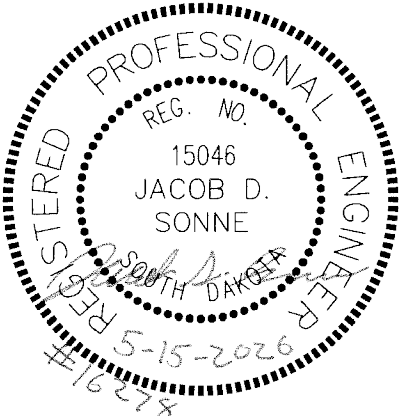
BENCHMARK FH:	TOP NUT OF FIRE HYDRANT NW OF EXISTING BUILDING ELEV = 1307.66
CONTROL POINT #400:	CAPPED REBAR 94' NE OF EXISTING BUILDING N: 51623.740 E: 2577748.822 ELEV = 1306.337
CONTROL POINT #900:	CAPPED REBAR 117' SE OF EXISTING BUILDING N: 515965.483 E: 2577287.065 ELEV = 1305.840
CONTROL POINT #901:	CAPPED REBAR 54' SOUTH OF EXISTING BUILDING N: 515958.210 E: 2577115.586 ELEV = 1306.667
CONTROL POINT #902:	CAPPED REBAR 129' SW OF EXISTING BUILDING N: 515952.328 E: 2576949.451 ELEV = 1307.538
CONTROL POINT #903:	CAPPED REBAR 176' WEST OF EXISTING BUILDING N: 516109.471 E: 2576885.086 ELEV = 1306.284

LEGEND

⊙	= EXISTING SANITARY SEWER MANHOLE
⊕	= EXISTING SANITARY SEWER CLEANOUT
⊙	= EXISTING FIRE HYDRANT
⊕	= EXISTING WATER VALVE
⊙	= EXISTING STORM SEWER MANHOLE
—	= SIGN
⊕	= FLAG POLE
⊕	= LIGHT POLE / LIGHT
⊕	= GROUND LIGHT
—	= EXISTING SANITARY SEWER LINE
—	= EXISTING WATER LINE
—	= EXISTING STORM SEWER LINE
—	= EXISTING FIBER OPTIC LINE
—	= EXISTING UNDERGROUND ELECTRIC LINE
---	= EXISTING CONTOUR
—	= CONCRETE SURFACE
—	= ASPHALT SURFACE
—	= GRAVEL SURFACE
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SUBMITTAL SET
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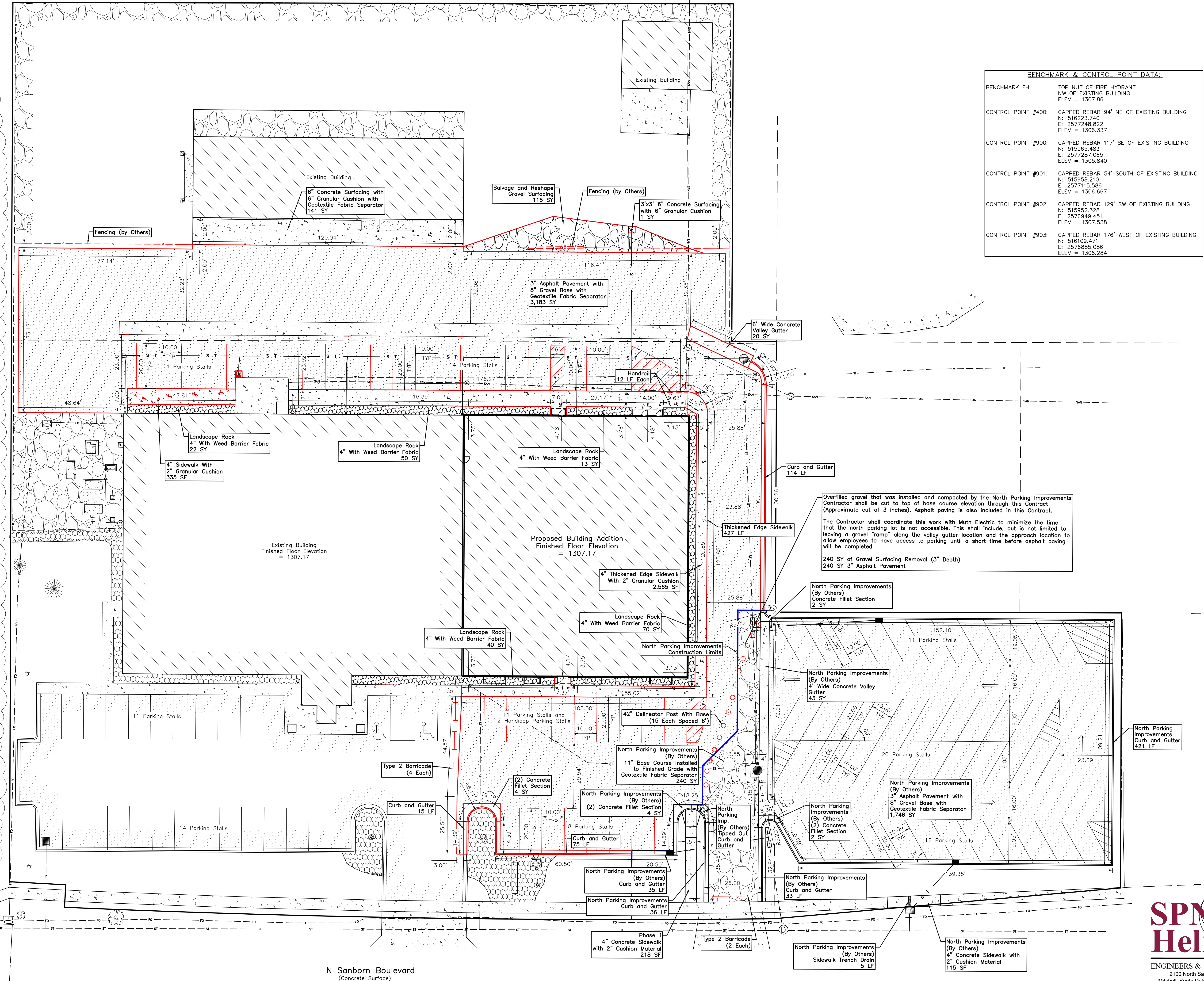
Muth Electric Inc. Corporate Office Addition
1717 North Sanborn Blvd
Mitchell, SD

Site Plan

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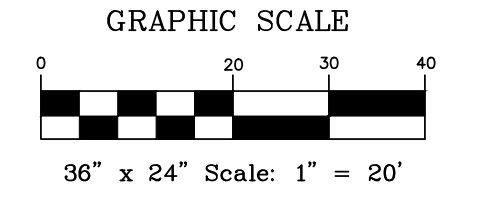
Project No. 16278	Revisions
Date: 05/15/26	
Drawn By: NAP	

C3.0



N Sanborn Boulevard
(Concrete Surface)





BENCHMARK & CONTROL POINT DATA:

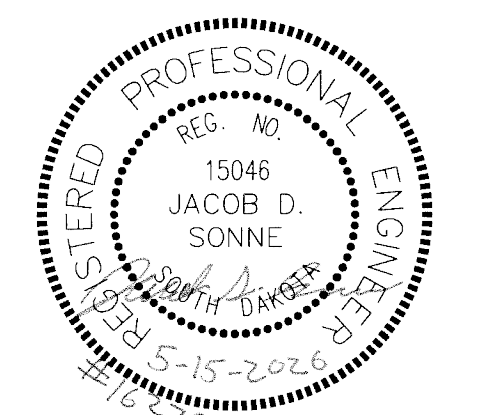
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SUBMITTAL SET
NOT FOR CONSTRUCTION

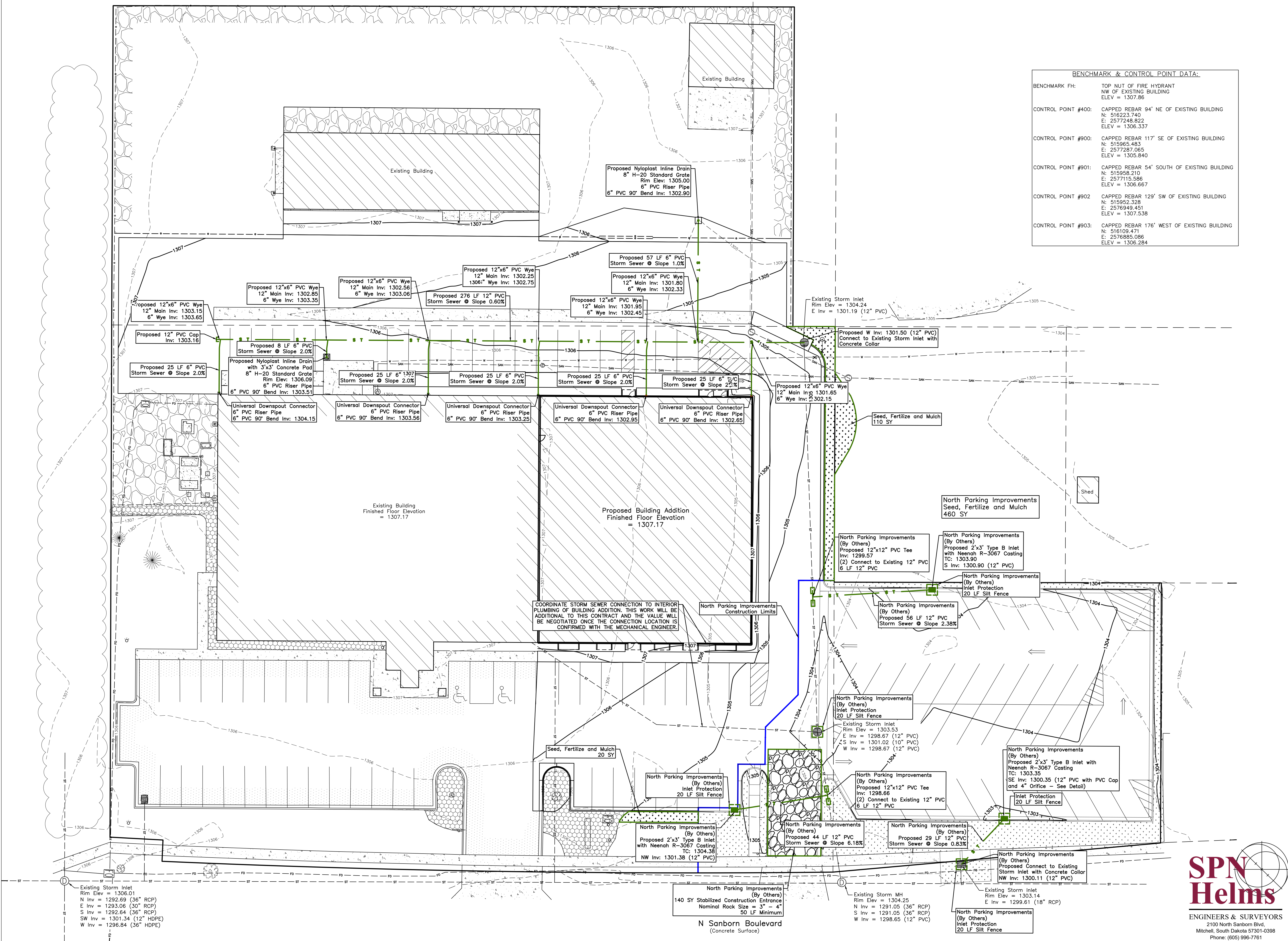


Muth Electric Inc. Corporate Office Addition
1717 North Sanborn Blvd
Mitchell, SD

Storm Sewer Plan

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Project No. 16278	Revisions	C4.0
Date: 05/15/26		
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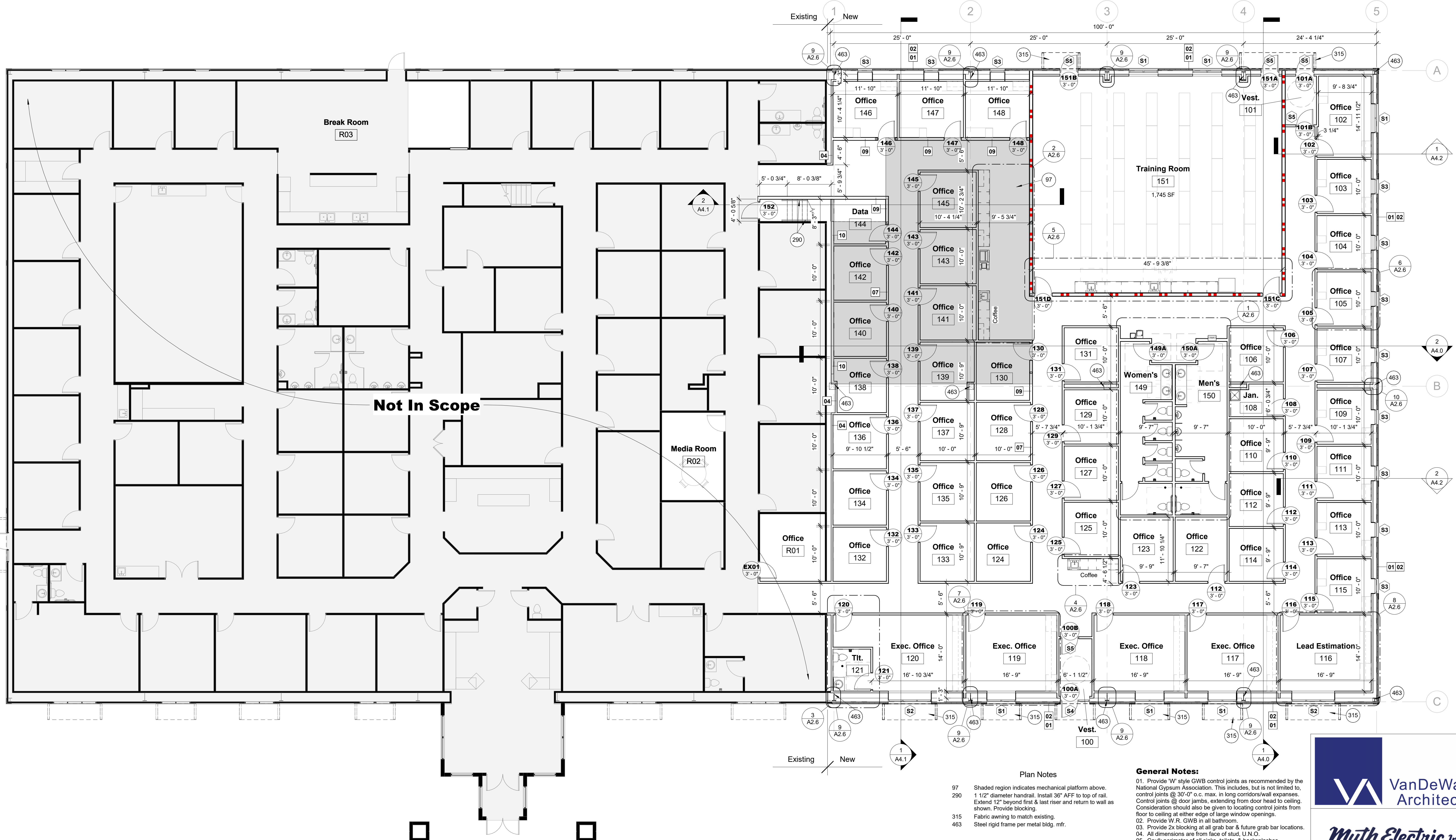
Existing Storm Inlet
Rim Elev = 1306.01
N Inv = 1292.69 (36" RCP)
E Inv = 1293.06 (30" RCP)
S Inv = 1292.64 (36" RCP)
SW Inv = 1301.34 (12" HDPE)
W Inv = 1296.84 (36" HDPE)

N Sanborn Boulevard
(Concrete Surface)

Existing Storm MH
Rim Elev = 1304.25
N Inv = 1291.05 (36" RCP)
S Inv = 1291.05 (36" RCP)
W Inv = 1298.65 (12" PVC)

Existing Storm Inlet
Rim Elev = 1303.14
E Inv = 1299.61 (18" RCP)

COORDINATE STORM SEWER CONNECTION TO INTERIOR PLUMBING OF BUILDING ADDITION. THIS WORK WILL BE ADDITIONAL TO THIS CONTRACT AND THE VALUE WILL BE NEGOTIATED ONCE THE CONNECTION LOCATION IS CONFIRMED WITH THE MECHANICAL ENGINEER.



Not In Scope

- Plan Notes**
- 97 Shaded region indicates mechanical platform above.
 - 290 1 1/2" diameter handrail. Install 36" AFF to top of rail. Extend 12" beyond first & last riser and return to wall as shown. Provide blocking.
 - 315 Fabric awning to match existing.
 - 463 Steel rigid frame per metal bldg. mfr.

- General Notes:**
01. Provide "W" style GIB control joints as recommended by the National Gypsum Association. This includes, but is not limited to, control joints @ 30'-0" o.c. max. in long corridors/wall expanses. Control joints @ door jambs, extending from door head to ceiling. Consideration should also be given to locating control joints from floor to ceiling at either edge of large window openings.
 02. Provide W.R. GIB in all bathroom.
 03. Provide 2x blocking at all grab bar & future grab bar locations.
 04. All dimensions are from face of stud, U.N.O.
 05. Caulk perimeter of all sinks, toilets, & backsplashes.
 06. Base to be specified by ID.
 07. Verify all appliance dimensions prior to ordering cabinets.
 08. All rated doors to receive smoke seals.
 09. All H/C accessible areas shall have ADA compliant thresholds at all doors requiring thresholds.
 10. See ID drawings for finishes.
 11. Interior elevations are on sheet A5.0.
 12. Door & storefront schedules/elevations are on sheet A5.1.
 13. Mechanical, electrical, and structural items shown for representation purposes only. Verify final design per trade prior to construction.



Muth Electric Inc.

Muth Office Addition
1717 N Sanborn Blvd.
Mitchell, SD 57301

Overall Addition Floor Plan

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Project No. 23021	Revisions
Date: 05.15.2026	A2.1
Drawn By: APG	

CONSTRUCTION SET



1 Overall Addition Floor Plan

Scale: 1/8" = 1'-0"

NOTICE OF HEARING

NOTICE IS HEREBY GIVEN to the general public and all interested parties that the City of Mitchell Planning Commission will conduct a public hearing and acted upon in the City Hall Council Chambers at 612 North Main Street, Mitchell, South Dakota at 12:00 pm (noon) on June 8, 2026 in regards to a proposed project plan and the establishment of boundaries for the proposed tax increment financing district known as City of Mitchell Tax Incremental District Number Forty-seven (47).

The following real property is to be included in this district and is legally described as follows:

Lot One (1), Block Thirteen (13), Original Town (now City) of Mitchell, Davison County, South Dakota.

At the above stated time and place, all interested parties will be afforded a reasonable opportunity to express their views on the proposed creation of the Tax Incremental District and its proposed boundaries. The project plan may be viewed on the city’s website at www.cityofmitchellsd.gov. Following such hearing, the matter will be heard and acted upon by the Mitchell City Council on June 15, 2026 at 6:00 pm in the City Hall Council Chambers.

Dated this 20th day of May, 2026.

Michelle Bathke – Finance Officer

Published once: 27th day of May, 2026

Approximate publication cost: _____

Tax Incremental District

Number 47

City of Mitchell, SD

Economic Development Project Plan

In conjunction with

John Adamo, Developer



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INTRODUCTION AND PURPOSE

The purpose of this Plan, to be implemented by the City of Mitchell, Davison County, South Dakota, is to satisfy the requirements for Tax Incremental District Plan Number 47, City of Mitchell, Davison County as specific in SDCL Chapter 11-9. There are 11 mandated requirements of the Plan, each to be addressed in this Plan. The principal purpose of this Plan is to define eligible property and to define a Tax Incremental Plan for funding eligible activities in the eligible area of the city.

This Plan was prepared for adoption by the City Planning Commission and the City Council in recognition that the area requires a coordinated, cooperative strategy, with financing possibilities, to promote economic development through the demolition of the interior of a historic three-story building located at 123 North Main Street, Mitchell, South Dakota, most recently known as the Jirsa building. The building is currently uninhabited. The building is a historic landmark located on Main Street in the City of Mitchell, on a corner lot. The building consists of a basement and three floors, with each floor consisting of approximately 3,000 square feet. The building renovation will consist of approximately five (5) phases, with the goal of stabilizing the entire building and reinventing it for commercial use. The proposed phases consist of the following:

- Phase 1: Demolition of the east half of the building of all unsalvageable interior walls, floor, drop ceilings, windows, and stabilization and new floor assembly for all three floors.
- Phase 2: Demolition of the west half of the building of all unsalvageable interior walls, floor, drop ceilings, windows, and stabilization and new floor assembly for all three floors.
- Phase 3: New roof over those portions of the roof that are destroyed and unsalvageable. Secure or replace roof trusses as needed.
- Phase 4: Once demolition and stabilization are completed, plan and draft new interior for all three floors, with new design based upon original historical floor plans.
- Phase 5: Complete new construction pursuant to design plans for all three floors.

Phase 1 and 2 of the project have been completed for safety reasons and to make the building accessible to the Developer.

The driving interest in the establishment of this Plan is to offer tax increment financing as a tool to stimulate and leverage private sector development to promote economic development throughout the TIF District and the City of Mitchell.

Development in the area is anticipated to start in the summer of 2026, with the potential for tax increment financing to provide the impetus and means to undertake this development, but more importantly to ensure that one of the City's historic Main Street landmarks comes back to life, while adding new business opportunities in the form of five to six Air Bread and Breakfast rental units on the second and third floors, with commercial space on the first floor.

Brief Description of Project:

The proposed redevelopment involves the renovation and reconstruction of each one of the three floors of the building. With tax increment financing, the Developer is planning on the restoration of the historic building and the abatement of a nuisance property, to include the replacement of a dilapidated and deteriorating structure, correcting faulty layout of the interior of the building, eliminating unsanitary and unsafe conditions, correcting the deterioration of the site, and eliminating the existence of conditions that, left in the present state, endanger adjacent property by fire or other causes.

Brief Description of Project's Public Benefits:

To stimulate and leverage private sector development and redevelopment, and to promote economic development throughout the TIF District by refurbishing and bringing back to life a historic Main Street building and creating new retail/office space in Mitchell's downtown area plus overnight/extended stay units will contribute additional lodging options within the City of Mitchell, attracting visitors. The project is to be located on Mitchell Main Street in its downtown business district.

GENERAL DEFINITIONS AS USED IN THIS PLAN

The following terms found in this Plan are defined as the following:

"Base" or "Tax Incremental Base" means the aggregate assessed value of all taxable property located within a Tax Incremental District on the date the district is created, as determined by SDCL § 11-9-20.

"Blighted" means property that meets any of the following criteria:

Any area, including slum area, in which the structures, buildings, or improvements, by reason of:

- (1) dilapidation, age, or obsolescence;
- (2) inadequate provisions for ventilation, light, air, sanitation, or open spaces;
- (3) high density of population and overcrowding;
- (4) the existence of conditions which endanger life or property by fire and other causes; or
- (5) any combination of such factors;

are conducive to ill health, transmission of disease, infant mortality, juvenile delinquency, or crime, and which is detrimental to the public health, safety, morals, or welfare, is a blighted area.¹

The term blighted area² means An area that substantially impairs or arrests the sound growth of the political subdivision, inhibits housing development, constitutes an economic or social liability, or is a danger in its present condition and use to the health, safety, morals, or welfare of the public because of: -

- (1) the presence of a substantial number of substandard, slum, deteriorated, or deteriorating structures;
- (2) predominance of defective or inadequate street layouts;
- (3) faulty lot layout in relation to size, adequacy, accessibility, or usefulness;
- (4) insanitary or unsafe conditions;
- (5) the deterioration of site or other improvements;
- (6) a diversity of ownership, tax, or special assessment delinquency exceeding the fair value of the land;
- (7) defective or unusual conditions of title;
- (8) the existence of conditions which endanger life or property by fire and other causes; or
- (9) a predominance of open space with obsolete platting, diversity of ownership, or deterioration of structures of site improvements.

"City of Mitchell" means Mitchell, South Dakota.

¹ SDCL § 11-9-9

² SDCL § 11-9-10

"Department of Revenue" means the South Dakota Department of Revenue.

"Developer" means John Adamo.

"Developer's Agreement" means the agreement between John Adamo and City of Mitchell concerning this Tax Incremental District.

"District" means the Tax Incremental District.

"Economic Development" means all powers expressly granted and reasonably inferred pursuant to SDCL Ch. 9-54.

"Fiscal year" means that fiscal year for City of Mitchell.

"Generally Applicable Taxes" shall have the same meaning as set forth in 26 CFR § 1.141-4(e).

"Governing body" means the Mitchell City Council, South Dakota.

"Grant" means the transfer for a governmental purpose of money or property to a transferee that is not a related party to or an agent of the municipality;

"Infrastructure Improvements" means a street, road, sidewalk, parking facility, pedestrian mall, alley, bridge, sewer, sewage treatment plant, property designed to reduce, eliminate, or prevent the spread of identified soil or groundwater contamination, drainage system, waterway, waterline, water storage facility, rail line, utility line or pipeline, or other similar or related structure or improvement, together with necessary easements for the structure or improvement, for the benefit of or for the protection of the health, welfare, or safety of the public generally.

"Municipality" means any incorporated city or county in this state.

"Owner" means John Adamo and Julian Marcello.

"Planning Commission" means the Mitchell City Planning Commission, South Dakota

"Plan" means this Project Plan.

"Project Costs" means any expenditure or monetary obligations by Developer, whether made, estimated to be made, incurred or estimated to be incurred, which are listed as Project Costs herein will include any costs incidental thereto but diminished by any income, special assessments, or other revenues, other than tax increments, received, or reasonably expected to be received, by Developer in connection with the implementation of this Plan.

"Project Plan" means a properly approved Plan for the development or redevelopment of a tax incremental district including all properly approved amendments thereto as recommended pursuant to SDCL § 11-9-1 3.

"Public Works" means the Infrastructure Improvements, the acquisition by purchase or condemnation of real and personal property within the Tax Incremental District and the sale, lease, or other disposition of such property to private individuals, partnerships, corporations, or other entities at a price less than the cost of such acquisition which benefit or further the health, safety, welfare and economic development of the County and Project Costs.

"Taxable Property" means all real taxable property located in a Tax Incremental District.

"Tax Incremental District" means a contiguous geographic area within a County defined and created by resolution of the governing body and named City of Mitchell Tax Incremental District #47.

"Tax Increment Valuation" is the total value of the Tax Incremental District minus the tax incremental base pursuant to § 11-9-19.

"Tax Increment Law" means South Dakota Codified Laws Chapter 11-9.

PROPERTY WITHIN THE TAX INCREMENT DISTRICT

The real property to be located within the Tax Increment District is legally described as follows:

Lot One (1), Block Thirteen (13), Original Town (now City) of Mitchell, Davison County, South Dakota.

The area making of the Tax Increment District #47 is shown on the boundary map attached to the following page

CREATION OF CITY OF MITCHELL TID NUMBER 47

Developer desires to create a Tax Incremental Financing District ("TID") to assist in the construction of public infrastructure and other TID eligible expenses on land located within the corporate limits of the City of Mitchell, Davison County, South Dakota. As presented by the Developer, the TID will consist of up to five (5) phases, as follows:

- Phase 1: Demolition of the east half of the building of all unsalvageable interior walls, floor, drop ceilings, windows, and stabilization and new floor assembly for all three floors.
- Phase 2: Demolition of the west half of the building of all unsalvageable interior walls, floor, drop ceilings, windows, and stabilization and new floor assembly for all three floors.
- Phase 3: New roof over those portions of the roof that are destroyed and unsalvageable. Secure or replace roof trusses as needed.
- Phase 4: Once demolition and stabilization is completed, plan and draft new interior for all three floors, with new design based upon original historical floor plans.
- Phase 5: Complete new construction pursuant to design plans for all three floors.

Phase 1 and 2 of the project have been completed for safety reasons and to make the building accessible to the Developer.

Once completed, the renovated building and site improvements will allow Developer to bring another historic building back to life on Mitchell Main Street, located in its core downtown business corridor, which will, upon completion rid the City of Mitchell of a "blighted area" as defined by SDCL 11-9-9³ and 11-9-10⁴. Please refer to

³ Any area, including slum area, in which the structures, buildings, or improvements, by reason of:

- (1) Dilapidation, age, or obsolescence;
- (2) Inadequate provisions for ventilation, light, air, sanitation, or open spaces;
- (3) High density of population and overcrowding;
- (4) The existence of conditions which endanger life or property by fire and other causes; or
- (5) Any combination of such factors;

are conducive to ill health, transmission of disease, infant mortality, juvenile delinquency, or crime, and which is detrimental to the public health, safety, morals, or welfare, is a blighted area.

⁴ For the purposes of this chapter, the term "blighted area" means an area that substantially impairs or arrests the sound growth of the political subdivision, inhibits housing development, constitutes an economic or social liability, or is a danger in its present condition and use to the health, safety, morals, or welfare of the public because of:

- (1) The presence of a substantial number of substandard, slum, deteriorated, or deteriorating structures;
- (2) A predominance of defective or inadequate street layouts;
- (3) Faulty lot layout in relation to size, adequacy, accessibility, or usefulness;
- (4) Insanitary or unsafe conditions;
- (5) The deterioration of site or other improvements;

Attachment 5 to review the current condition of the historic building. Timing and weather permitting, Developer intends to begin the project in the summer of 2026.

Figure 1. TID 47 Boundary
Mitchell TIF District 47 Boundary Map
-Outlined in Orange



[Remainder of Page Left Intentionally Blank]

-
- (6) A diversity of ownership, tax, or special assessment delinquency exceeding the fair value of the land;
 - (7) Defective or unusual conditions of title;
 - (8) The existence of conditions which endanger life or property by fire and other causes; or
 - (9) A predominance of open space with obsolete platting, diversity of ownership, or deterioration of structures or site improvements.

LISTING OF KIND, NUMBER, LOCATION AND DETAILED COSTS OF PROPOSED PUBLIC WORKS AND IMPROVEMENTS⁵

In order to implement the provisions of SDCL Chapter 11-9, the following are Project Costs and expenditures made or estimated to be made and the monetary obligations incurred or estimated to be incurred by the Developer.

The City is working to develop an economic and competitive base to benefit the City and the state as a whole. All project costs are found to be necessary and convenient to the creation of the Tax Incremental District and its implementation. The project constitutes an Economic Development Project and is a proper public purpose of the City. The City exercises the powers expressly stated in and reasonably inferred by SDCL §11-9-15 and Chapter 9-54. The Developer or its assignee shall enter into all contracts in accordance with South Dakota law.

A combination of private investment and tax increment financing will assist progress toward the following additional objectives:

- To address and remedy conditions in the area that impair or arrest the sound growth of the City;
- To develop and rehabilitate the area in a manner which is compatible with and complementary to unique circumstances in the area;
- To effectively utilize undeveloped and underdeveloped land;
- To ultimately contribute to increased revenues for all taxing entities;
- To encourage the voluntary construction of buildings, improvements, and conditions;
- To watch for market and/or project opportunities to promote economic development, and when such opportunities exist, to take action within the financial, legal and political limits of the City to acquire land, pursue redevelopment, improvement and construction projects; and
- To improve areas that are likely to significantly enhance the value of substantially all property in the district.

TAXABLE VALUE OF MITCHELL

State law requires that tax increment districts cannot exceed ten percent of the taxable value of the City of Mitchell. This value for Mitchell is approximately \$1,748,458,849. The base value of the taxable property for inclusion into this Tax Incremental District, as per the Director of Equalizations records, is \$36,250 as set forth on the following page.

⁵ SDCL §11-9-16(1)

TIF 47 Base Valuations

Lot One (1), Block Thirteen (13), Original Town (now City) of Mitchell, Davison County, South Dakota.

Full & True Base Value: \$36,250

Total base value of active TIF Districts in Mitchell is as follows:

Tax Increment District Number 8	\$5,846,499
Tax Increment District Number 14	\$36,866
Tax Increment District Number 19	\$13,022
Tax Increment District Number 20	\$147,941
Tax Increment District Number 21	\$137,537
Tax Increment District Number 23	\$2,953,202
Tax Increment District Number 24	\$596,707
Tax Increment District Number 26	\$0
Tax Increment District Number 27	\$976,615
Tax Increment District Number 28	\$2,064,383
Tax Increment District Number 29	\$378,848
Tax Increment District Number 30	\$8,290
Tax Increment District Number 31	\$595,369
Tax Increment District Number 32	\$1,516,588
Tax Increment District Number 33	\$797,621
Tax Increment District Number 34	\$1,210,676
Tax Increment District Number 35	\$129,191
Tax Increment District Number 36	\$215,468
Tax Increment District Number 37	\$77,216
Tax Increment District Number 38	\$90,064
Tax Increment District Number 39	\$202,969
Tax Increment District Number 40	\$170,177
Tax Increment District Number 41	\$358,465
Tax Increment District Number 42	\$353,950
Tax Increment District Number 43	\$25,675
Tax Increment District Number 44	\$14,204
Tax Increment District Number 45	\$82,087
Tax Increment District Number 46	\$31,750
Tax Increment District Number 47	\$36,250
TOTAL	\$19,068,211

The total value of all active TIF districts in Mitchell is less than 10% of total taxable value in the City. Using the base values provided above with the inclusion of the proposed TIF #47, the total Tax Increment Districts combined is less than 1.5% when compared to the 2025 Taxable Valuation.

The proposed Tax Incremental District will promote economic growth and enhancements in City of Mitchell. It is anticipated that a majority of properties within the district will see increases in their property valuation as a result of improvements made possible through creation of the proposed Tax Incremental District.

COSTS OF PUBLIC WORKS OR IMPROVEMENTS

In accordance with SDCL § 11-9-16 the following is the kind, number, location and dollar amount of estimated Project Costs, costs of public works and improvements:

Kind of Project Cost	Number of Projects	Location ⁶	Amount	Reference ⁷
Capital Costs		District	\$0	11-9-14(1)
Financing Costs		District	\$0	11-9-14(2)
Real Property Assembly		District	\$0	11-9-14(3)
Professional Fees		District	\$0	11-9-14(4)
Administrative Costs		District	\$0	11-9-14(5)
Relocation Costs		District	\$0	11-9-14(6)
Organizational Costs		District	\$0	11-9-14(7)
Discretionary Costs and Grants		District	\$190,787	11-9-14(8)
Eligible Project Costs			\$190,787	

*See Schedule 1 - list of TIF-Qualified project costs to be paid by Developer which qualify as project costs under 11-9-14(1) through (7).

Estimated costs for non-project costs and TIF eligible costs may vary from actual costs incurred during construction. TIF proceeds may flow through to Developer for certified TIF eligible expenses based on the actual

⁶ District shall mean the Tax Increment District.

⁷ SDCL §11-9-14

- (1) Capital costs, including the actual costs of the construction of public works or improvements, buildings, structures, and permanent fixtures; the demolition, alteration, remodeling, repair, or reconstruction of existing buildings, structures, and permanent fixtures; the acquisition of equipment; the clearing and grading of land; and the amount of interest payable on tax incremental bonds or notes issued pursuant to this chapter until such time as positive tax increments to be received from the district, as estimated by the Project Plan, are sufficient to pay the principal of and interest on the tax incremental bonds or notes when due;
- (2) Financing costs, including all interest paid to holders of evidences of indebtedness issued to pay for Project Costs, any premium paid over the principal amount thereof because of the redemption of such obligations prior to maturity and a reserve for the payment of principal of and interest on such obligations in an amount determined by the governing body to be reasonably required for the marketability of such obligations;
- (3) Real property assembly costs, including the actual cost of the acquisition by a municipality of real or personal property within a tax incremental district less any proceeds to be received by the municipality from the sale, lease, or other disposition of such property pursuant to a Project Plan;
- (4) Professional service costs, including those costs incurred for architectural, planning, engineering, and legal advice and services;
- (5) Imputed administrative costs, including reasonable charges for the time spent by municipal employees in connection with the implementation of a Project Plan;
- (6) Relocation costs;
- (7) Organizational costs, including the costs of conducting environmental impact and other studies and the costs of informing the public of the creation of tax incremental districts and the implementation of project plans; and
- (8) Payments and grants made, at the discretion of the governing body, which are found to be necessary or convenient to the creation of tax incremental districts or the implementation of project plans.

costs incurred for those TIF eligible expenses up to the total authorized TIF request amount of \$190,787.

EXPENDITURES EXCEEDING ESTIMATED COST

Any expenditures which in sum would exceed the total amount stated above will require an amendment of this plan. All amendments are undertaken pursuant to SDCL §11-9-23.

DEVELOPER'S AGREEMENT

The City of Mitchell will enter into a Developer's Agreement with Developer with the following as the guidelines for the Agreement:

Financing Terms:

- Amount. The total amount of the TIF will not exceed \$190,787.
- Interest Rate. There will be no interest rate applicable to the total authorized TIF Request of \$190,787.
- Length. The TIF will not exceed 20 calendar years from the year of creation.
- Expiration. The TIF will expire at the end of 20 years from the year of creation or when the \$190,787 has been paid out in tax payment to the Developer from the taxes generated within the District, whichever comes first.

Legal Terms:

- Any owners of real property located within the TIF District will waive their right to the discretionary tax abatement.
- Should the State of South Dakota not classify the TIF as an Economic Development TIF, the TIF will not be finalized and will cease to exist.

Conditions of the Developer Agreement relating to Constitutional Debt:

The exclusive funding mechanism for this TID will be a grant pass-through of positive tax increment from the TID received into the TIF Fund. It is specifically a condition of the proposed Developer's Agreement that the City's obligation to pay is limited to the proceeds of the positive tax increment from the TID received into the TIF Fund. The City shall have no obligation to commit any City funds from any other source into the TIF Fund other than the positive tax increment from the TID received into the TIF Fund. It is also to be specifically agreed that the City has made no representation that the proceeds from the TIF Fund shall be sufficient to retire any indebtedness incurred by Developer. The parties further acknowledge that SDCL 11-9-25 limits the duration of allocation of the positive tax increment payments and the fund created by the TID to 20 years from the year of creation. As such, it is further understood that the amount of \$190,787 will be the maximum amount the City will ever pass on acting as a conduit for TIF #47 for eligible project costs.

All TIF revenue will be passed onto the Developer as a grant until the full amount, up to the amount certified, has been paid or 20 years from the year of creation, whichever happens first. The payment of tax increment funds under this Agreement is a grant under SDCL Chapter 11-9 (the "Grant"). The Grant is a personal property right vested with the Developer on the effective date of the Developer Agreement. The City will grant this amount to the Developer and thus not have to account for any assets on the City's financial statement. The Developer will be responsible for obtaining their financing and the City will not be liable for any Developer debt.

Upon completion of the construction of the project involving eligible project costs, the Developer shall certify, to City staff, the eligible project costs in sufficient detail to determine that payment of grant funds is solely for eligible project costs. The Developer shall provide contractor/supplier invoices or other supporting documentation upon request of City staff. Upon certification and verification of eligible project costs, the City

shall pass-through all available tax increment fund revenues not to exceed \$190,787 in a manner consistent with this section.

Given that the exclusive funding mechanism for this TID is the grant pass-through of positive tax increment from the TIF Fund, that no tax increment bonds will be issued in relation to this TID, and that the City shall have no obligation to commit other City funds, the City's obligation hereunder shall not in any way be construed to be a debt of the City in contravention of any applicable constitutional or statutory limitation or requirement concerning the creation of indebtedness by the City, nor shall anything contained herein constitute a pledge of the general credit, tax revenues, funds or moneys of the City. In recognition that the City cannot appropriate funds that have not accrued, the City's exclusive obligation shall be to budget and appropriate the positive tax increment from the TID receipted into the TIF Fund on an annual basis during the City's then current fiscal year, as may be required. Notwithstanding anything to the contrary contained in the proposed Agreement, the City hereby acknowledges and agrees that the obligations of the City under this Agreement are a material inducement for Developer to incur various development and construct improvements upon the TID property and the failure to pay tax increment to Developer will be financial detrimental to future improvements on said property.

If at any time during the term of this Agreement, the governing body of the City shall fail or refuse to approve or authorize the funds due hereunder, and if the TID is eligible to be terminated pursuant to SDCL 11-9-46, then the Agreement shall terminate upon the end of the fiscal year for which funds were approved or authorized, without penalty to the City.

Developer Terms:

- John Adamo will act as the Developer and all TIF proceeds will flow to Developer.
- Developer will certify the costs to the City for reimbursement.
- The Developer shall submit a report to the City no later than November 15 of each calendar year on a form provided by the City.
- The City of Mitchell reserves the right to charge an annual administration expense. This fee will be used to offset any future expenses that may occur due to reporting. The amount will not exceed \$5,000.00 in a calendar year.
- The City of Mitchell reserves the right to charge an annual administration expense for the reimbursement of any fees or costs to other political subdivisions which now, or in the future, arise from state law.
- The Developer agrees to waive the discretionary formula for all construction within the TIF.

FEASIBILITY STUDY⁸

An economic feasibility study is attached as Schedule 4. The project is only feasible if there is contribution from the City through the Tax Increment District.

ECONOMIC DEVELOPMENT STUDY

Not less than 50% of the area will stimulate and develop the general economic welfare and prosperity of the state through the promotion and advancement of industrial, commercial, and manufacturing by reconstructing a formerly abandoned and dilapidated building and transforming it into a new business opportunity in the form of five to six Air Bread and Breakfast rental units on the second and third floor to expand short rental opportunities in the City of Mitchell, and commercial space on the first floor serving to create space for potential

⁸ SDCL §11-9-16(2)

businesses, as indicated in the Economic Development Study attached as Schedule 5.

DETAILED LIST OF ESTIMATED PROJECT COSTS⁹

Attached as Schedule 1 is a detailed list of estimated Project Costs. No expenditure for Project Costs is provided for more than five years after the district is formed.

FISCAL IMPACT STATEMENT¹⁰

Attached as Schedule 3 is the Fiscal Impact Statement on other taxing districts found within the Tax Increment District, both until and after the loans are repaid.

METHOD OF FINANCING, TIMING OF COSTS AND MONETARY OBLIGATIONS¹¹

Project Costs shall be paid by the proceeds of tax increment revenue. The City may reimburse for administrative costs from the tax increments at the end of the Plan after payment of all approved reimbursable costs.

MAXIMUM AMOUNT OF TAX INCREMENTAL REVENUE

The maximum amount of monetary obligations to be paid through Tax Increment Number 47 shall not to exceed \$190,787, or such lesser amount as may be feasible with the estimated revenue generated by the Tax Increment District plus interest. In the alternative or in combination therewith, the City may issue one or more tax increment bond series or may enter into one or more development agreements whereby the tax increment revenues would be used in accordance with the terms and conditions of the development agreements (the “monetary obligation”).

DURATION OF TAX INCREMENTAL PLAN

The duration of the Plan will extend to the number of years it will take for the extinguishment of any bonds or monetary obligations; however, in no event may the positive tax increments be allocated longer than twenty (20) years after the calendar year of creation.

ESTIMATED IMPACT OF TAX INCREMENT FINANCING ON REVENUES OF TAXING JURISDICTIONS

The site will generate taxes to the local jurisdictions at or above the assessed value of the Base. All taxing districts shall receive that base which will be the value set for 2027 taxes payable in 2028 and thereafter. The tax increment will be available to the taxing jurisdictions at or before 20 years after at the creation of the District. Schedule 2 details the tax capture implications to each of the local taxing jurisdictions. After the repayment of the bonds or monetary obligations, taxing entities will receive their proportionate share of tax dollars for the base value plus the tax incremental values.

⁹ SDCL §11-9-16(3)

¹⁰ SDCL § 11-9-16(4)

¹¹ SDCL § 11-9-13(5)

CONDITIONS MAP¹², IMPROVEMENTS MAP¹³, ZONING CHANGE SCHEDULE¹⁴

The conditions map is attached as Attachment 1. The Improvements map is attached as Attachment 2. The Zoning Change Schedule is attached as Attachment 3.

CHANGES TO THE CITY OF MITCHELL MASTER PLAN, MAP, BUILDING CODES AND CITY ORDINANCES¹⁵

The proposed project is consistent with the City’s master plan, zoning code, building codes and other ordinances of the City.

LIST OF ESTIMATED NON-PROJECT COSTS¹⁶

The following is a list of the non-Project Costs. All costs are listed as taxable value; actual non-project costs will exceed the following amounts.

Item	Amount
Total Non-Project Cost	\$1,741,855

STATEMENT OF DISPLACEMENT AND RELOCATION PLAN¹⁷

No residents or families will be displaced by the Project. There are no families or persons residing on the premises. Therefore, no relocation Plan is needed.

PERFORMANCE BOND, SURETY BOND OR OTHER GUARANTY

As security for its fulfillment of the agreement with the governing body, a purchaser or lessee of redevelopment property may furnish a performance bond, with such surety and in such form and amount as the governing body may approve or make such other guaranty as the governing body may deem necessary in the public interest. This additional security may be provided for in a Developer’s Agreement.

¹² SDCL § 11-9-16(1)
¹³ SDCL § 11-9-16(2)
¹⁴ SDCL § 11-9-16(3)
¹⁵ SDCL §11-9-16(4)
¹⁶ SDCL §11-9-16(5)
¹⁷ SDCL §11-9-16(16)

LIST OF SCHEDULES

- SCHEDULE 1 Detail of Project Costs
- SCHEDULE 2 Estimated Captured Taxable Values
- SCHEDULE 3 Fiscal Impact Statement
- SCHEDULE 4 Economic Feasibility Study
- SCHEDULE 5 Economic Development Study

ATTACHMENTS

- Attachment 1. Map and Legal Description and existing uses and conditions
- Attachment 2. Map of Real property/Improvement
- Attachment 3. List of proposed changes in zoning ordinances
- Attachment 4. Zoning Map
- Attachment 5. Photos of Current State of Building and “Blighted” Area
- Attachment 6. Preliminary Classification Letter from Department of Revenue

SCHEDULE 1 – "DETAIL OF PROJECT COSTS"

Kind of Project Cost	Number of Projects	Location¹⁸	Amount	Reference¹⁹
Capital Costs		District	\$0	11-9-14(1)
Financing Costs		District	\$0	11-9-14(2)
Real Property Assembly		District	\$0	11-9-14(3)
Professional Fees		District	\$0	11-9-14(4)
Administrative Costs		District	\$0	11-9-14(5)
Relocation Costs		District	\$0	11-9-14(6)
Organizational Costs		District	\$0	11-9-14(7)
Discretionary Costs and Grants	1	District	\$190,787	11-9-14(8)
Eligible Project Costs			\$190,787	

¹⁸ District shall mean the Tax Increment District.

¹⁹ SDCL §11-9-14 (see page 9)

TIF ELIGIBLE EXPENSES/RESPONSIBLE DEVELOPER

SDCL 11-9-15

	Jirsa Building TIF Costs		
	Total Costs	Non-Project Costs	TIF Eligible Costs
Materials	\$ 225,000.00	\$ 225,000.00	
Labor	\$140,000	\$ -	\$ 140,000.00
Dump Fees	\$ 80,000.00	\$ 80,000.00	\$ -
Drafting/Engineering	\$ 170,000.00		\$ 170,000.00
Framing	\$ 210,000.00	\$ 210,000.00	\$ -
Drywall	\$ 220,000.00	\$ 220,000.00	
Mill Work	\$ 230,000.00	\$ 230,000.00	\$ -
Plumbing	\$ 340,000.00		\$ 340,000.00
Electrical	\$ 350,000.00	\$ 350,000.00	\$ -
HVAC	\$ 270,000.00	\$ 270,000.00	\$ -
Paint	\$ 120,000.00	\$ 120,000.00	
Fire Sprinklers	\$ 120,000.00	\$ -	\$ 120,000.00
Professional Fees	\$ 15,000.00	\$ -	\$ 15,000.00
Contingency @ 5%	\$ 36,855.30	\$ 36,855.30	\$ -
TOTAL	\$ 2,526,855.30	\$ 1,741,855.30	\$ 785,000.00

*The total TIF eligible costs are \$785,000. The Developer is requesting TIF assistance in the amount of \$190,787 which represents the estimated real property tax increment anticipated to be generated by the TIF District over the duration of the TIF.

WeCare Ministries

Construction, Maintenance & Repair

Phone/Fax: (916) 873-7127

CSCL# 780684

Email: wecaremincon@gmail.com

Break Down of Project and Cost Prospectus;

A. Stabilization; estimated cost \$500,000

- Materials \$240,000
- Labor \$150,000
- Dump Fees \$80,000
- Drafting/Engineering \$30,000

C. Construction; estimated cost \$2,000,000

- Framing \$210,000
- Drywall \$220,000
- Mill Work \$230,000
- Plumbing \$340,000
- Electrical \$350,000
- HVAC \$270,000
- Fire Sprinklers \$120,000
- Paint \$120,000
- Drafting/Engineering \$140,000

- Estimates based on known quantities; subject to design, planning and engineering

This bid sheet differs from the project cost list above because Phase 1 and Phase 2 have been completed.

SCHEDULE 2 – "ESTIMATED CAPTURED TAXABLE VALUES"

INCREMENT-ESTIMATED TAXES THAT WILL GO TO TAX INCREMENT FUND

Taxing Districts	Levy (\$ per 1000)
Davison County	\$.0032012
Mitchell School District	\$.0093460
James River Water Development District	\$.000056
City of Mitchell	\$.042603
Total Tax Levy	\$.0168635

Based upon the foregoing tables and for purposes of this Project Plan, the construction of the project will commence in 2026.

It is anticipated that the Developer will procure financing to fund the total costs of the project. A commitment letter will be provided confidentially to City officials. Developer will be liable for any additional funds required pursuant to the project.

It is assumed that all obligations within the TID will be adequately secured as to allow the payment of principal and interest when due.

The City is in no way responsible for assisting the Developer to obtain such financing or for guaranteeing the repayment of such funds. The City's sole obligation is to pass through tax increment financing consistent with this project plan.

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Revenue Assumptions / Feasibility Study

Levies are based on 2025 payable in 2026

Construction Year	Valuation Year	Revenue Year	Valuation Increments	Valuation Total	Davison County	City of Mitchell	Mitchell			Non-Ag Factor	Total Revenue Increment	Cumulative Amt Paid
							JR	School District	Total Mill Rate*			
2026	2027	2028	\$ -	\$ -	0.0032012	0.0042603	0.000056	0.0093460	0.0168635	0.974	\$ -	\$ -
2027	2028	2029	\$ 331,875.00	\$ 331,875.00	0.0032012	0.0042603	0.000056	0.0093460	0.0168635	0.974	\$ 5,451.06	\$ 5,451.06
2028	2029	2030	\$ 331,875.00	\$ 663,750.00	0.0032012	0.0042603	0.000056	0.0093460	0.0168635	0.974	\$ 10,902.13	\$ 16,353.19
2029	2030	2031		\$ 663,750.00	0.0032012	0.0042603	0.000056	0.0093460	0.0168635	0.974	\$ 10,902.13	\$ 27,255.32
2030	2031	2032		\$ 663,750.00	0.0032012	0.0042603	0.000056	0.0093460	0.0168635	0.974	\$ 10,902.13	\$ 38,157.44
2031	2032	2033		\$ 663,750.00	0.0032012	0.0042603	0.000056	0.0093460	0.0168635	0.974	\$ 10,902.13	\$ 49,059.57
2032	2033	2034		\$ 663,750.00	0.0032012	0.0042603	0.000056	0.0093460	0.0168635	0.974	\$ 10,902.13	\$ 59,961.69
2033	2034	2035		\$ 663,750.00	0.0032012	0.0042603	0.000056	0.0093460	0.0168635	0.974	\$ 10,902.13	\$ 70,863.82
2034	2035	2036		\$ 663,750.00	0.0032012	0.0042603	0.000056	0.0093460	0.0168635	0.974	\$ 10,902.13	\$ 81,765.95
2035	2036	2037		\$ 663,750.00	0.0032012	0.0042603	0.000056	0.0093460	0.0168635	0.974	\$ 10,902.13	\$ 92,668.07
2036	2037	2038		\$ 663,750.00	0.0032012	0.0042603	0.000056	0.0093460	0.0168635	0.974	\$ 10,902.13	\$ 103,570.20
2037	2038	2039		\$ 663,750.00	0.0032012	0.0042603	0.000056	0.0093460	0.0168635	0.974	\$ 10,902.13	\$ 114,472.33
2038	2039	2040		\$ 663,750.00	0.0032012	0.0042603	0.000056	0.0093460	0.0168635	0.974	\$ 10,902.13	\$ 125,374.45
2039	2040	2041		\$ 663,750.00	0.0032012	0.0042603	0.000056	0.0093460	0.0168635	0.974	\$ 10,902.13	\$ 136,276.58
2040	2041	2042		\$ 663,750.00	0.0032012	0.0042603	0.000056	0.0093460	0.0168635	0.974	\$ 10,902.13	\$ 147,178.70
2041	2042	2043		\$ 663,750.00	0.0032012	0.0042603	0.000056	0.0093460	0.0168635	0.974	\$ 10,902.13	\$ 158,080.83
2042	2043	2044		\$ 663,750.00	0.0032012	0.0042603	0.000056	0.0093460	0.0168635	0.974	\$ 10,902.13	\$ 168,982.96
2043	2044	2045		\$ 663,750.00	0.0032012	0.0042603	0.000056	0.0093460	0.0168635	0.974	\$ 10,902.13	\$ 179,885.08
2044	2045	2046		\$ 663,750.00	0.0032012	0.0042603	0.000056	0.0093460	0.0168635	0.974	\$ 10,902.13	\$ 190,787.21
2045	2046	-										
2046	-	-										

Valuation Increment * Non-Ag Factor * Total Mill Rate

Assumptions:

* Assumes Mill Levies remain constant for the duration of the TIF

True & Full Value of Improvements	\$ 663,750.00
Assessed Value of Improvements	\$ 646,492.50

Notes:

* These numbers are for projection purposes only and do not reflect what the actual number(s) may be. The projection numbers are based on assumptions provided by the developer.

SCHEDULE 3 - "FISCAL IMPACT STATEMENT"

FISCAL IMPACT STATEMENT - TAX INCREMENT DISTRICT NUMBER 47

INTRODUCTION

The fiscal impact statement is intended to provide a succinct analysis of the estimated impact of the Tax Increment District to the public pursuant to SDCL § 11-9-16(4). It is not intended to rival the level of detail required by a detailed financial analysis. A fiscal impact statement shows the impact of the Tax Increment District, both until and after the bonds or obligations are repaid, upon all entities levying taxes upon property in the district.

DEFINITIONS

"Assumptions" means factors or definitions used in the fiscal analysis. Assumptions may include facts and figures identified by the District and educated guesses that are sometimes necessary when not all of the information is available. Assumptions are often used to extrapolate an estimate. Assumptions may include an estimate of tax levies of each taxing entity, the school aid formula contribution, the value of the real property, etc.

"Base Revenues" means the taxes collected on the base value.

"Fiscal Impact" means the increase or decrease in revenues and generally refers to an impact to revenues caused by the district.

"Revenue" means ad valorem taxes.

"Tax Increment District" means City of Mitchell Tax Increment District Number 47.

"Taxing Districts" means all political subdivisions of the state which have ad valorem taxing power over property within the boundaries of the Tax Increment District.

"Tax Increment Revenues" means all revenues above the Base Revenues.

ASSUMPTIONS:

1. The property will have improvements which at completion will be valued for taxable purposes at an estimated amount of \$663,750.
2. The average tax levy of all taxing districts will be \$16.8635 per thousand dollars of taxable valuation (2026).
3. Tax increment will start to be collected in 2028 and end in or prior to 2046.
4. The discretionary formula will be waived by the Developer of the project.

FISCAL IMPACT:

The total fiscal impact upon the taxing entities during the term of the Tax Increment District will be an estimated \$190,787. There will be no fiscal impact for the first year of the Tax Increment District.

SCHEDULE 4 – “ECONOMIC FEASIBILITY STUDY”

The City of Mitchell has been approached by John Adamo (“Developer”), concerning the creation of a tax increment district to be located within the City of Mitchell, Davison County, South Dakota. The Project will consist of restoring a historic three-story building on Mitchell’s Main Street in its downtown business core area. The restoration will rid the Mitchell downtown business district of a blighted area, as defined by SDCL 11-9-9 and 11-9-10, by a complete remodel of the building.

Construction Project

Building renovation costs will consist of the following, all of which will be paid by the Developer:

- Building materials associated with a 13,172 square foot building
- Design costs
- Roof panels
- Wall panels
- Wall insulation
- Roof insulation
- Framed openings; and
- Walk doors

As set forth above, the renovation of the building will result in renovation of a blighted area in Mitchell’s downtown core business district.

The City has been asked to create a Tax Increment District to help offset a portion of the construction costs associated with Project (the “Project Costs”). This feasibility study provides that the Project Costs can be financed through tax increment financing under South Dakota Tax Incremental District Law (South Dakota Codified Laws Chapter 11-9), with the balance of the costs to be paid by the Developer. Tax increment financing is an indispensable self-financing tool used throughout the United States to help local governments successfully develop and redevelop areas and encourage economic development.

In tax increment financing, the current real property tax assessed value of all properties in a designated project area (“tax increment financing district”) is established as the “base value.” As development in the tax increment financing district increases the assessed values of the redeveloped properties, a portion of the additional tax revenue generated by the increase in assessed value over the base value is set aside and committed by the City to the reimbursement of approved Project Costs.

Tax increment financing is permitted only in connection with a “Project Plan” duly adopted by the City. The property is currently taxable at approximately \$36,250. The improvements to be made to the property are estimated to add approximately \$663,750 to the value of the TIF area and, when taking into account the Davison County “factor” for this type of property, approximately \$646,492 to the tax assessed valuation. The estimated increment resulting from the improvements would be approximately \$5,451.06 for 2028 and once fully developed, the estimated annual increment for the remainder of the TIF would be approximately \$10,902.13.

All of the Project Costs are found to be necessary and convenient to the creation of the Tax Incremental District and the implementation of the project.

The City at no time shall ever be responsible for any loan the Developer secures. The City’s role is to simply act as a conduit for the tax revenue and pass on all positive increment to the Developer, of which, will never exceed \$190,787 in total payments, or 20 years, whichever comes first.

A portion of the development within the District could qualify for the discretionary tax abatement. However, City of

Mitchell TIF regulations require a developer to waive the “real property” discretionary formula as a condition of approving a TIF. Developer is aware of this requirement.

For purposes of this Project Plan, it is anticipated that no increment generated by City TID #47 will be available until calendar year 2028 and thereafter. The calculation of the estimated tax increment valuation and tax generated for City of Mitchell TID #47 is presented in the table on a subsequent page.

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SCHEDULE 5 – “ECONOMIC DEVELOPMENT STUDY”

SECTION 1 - INTRODUCTION

The City has been approached concerning the creation of a tax increment district located within City limits. In order to determine whether a tax increment district (TID) may be created, the governing body must make a finding that not less than 50%, by area, of the real property within the district will stimulate and develop the general economic welfare and prosperity of the State through the promotion and advancement of industrial, commercial, manufacturing, agricultural and natural resources, and the improvement of the area is likely to enhance significantly the value of substantially all of the other real property in the district.

SECTION 2 - STUDY AREA BOUNDARY

The Study area is described as the area depicted on the map attached to this Study (Attachments 1 and 2).

SECTION 3 - ESTABLISHING ECONOMIC DEVELOPMENT & BLIGHT MITIGATION

South Dakota law describes economic development as activity that stimulates and develops the general economic welfare and prosperity of the state through the promotion and advancement of industrial, commercial, manufacturing, agricultural, or natural resources. The area making up the boundaries of proposed City of Mitchell TID #47 consists of a historic building located in the City of Mitchell’s historic downtown business area. The building meets the definition of a blighted area pursuant to SDCL 11-9-8, 11-9-9, and 11-9-10. Developer plans to complete renovations to the three-story building, bringing it back to life with office/retail on the first floor and an Airbnb on the second and third floors. Included below the following statutes SDCL 11-9-8, 11-9-9, and 11-9-10 have been specifically addressed.

SDCL 11-9-8: Blighted Area Designation

The project area qualifies as a blighted area under SDCL 11-9-8 due to significant physical deterioration and obsolescence. The building’s structural failures and unsafe conditions meet the criteria for blight, necessitating redevelopment to stimulate economic welfare.

- SDCL 11-9-8(1): More than 25% of the area is blighted, as evidenced by structural decay and unsafe conditions.
- SDCL 11-9-8(2): Redevelopment will enhance property values and stimulate economic growth by introducing new commercial spaces and lodging options.

SDCL 11-9-9: Public Purpose and Benefits

The project aligns with SDCL 11-9-9 by addressing public health and safety concerns and promoting economic development.

- SDCL 11-9-9(1): The building's dilapidation and obsolescence require intervention.
- SDCL 11-9-9(2): Inadequate ventilation, lighting, and sanitation will be remedied.
- SDCL 11-9-9(4): Redevelopment will eliminate conditions endangering life or property.

SDCL 11-9-10: Eligible Improvements

- The project will undertake improvements authorized under SDCL 11-9-10, focusing on structural stabilization, code compliance, and historic preservation.
- SDCL 11-9-10(1): Demolition and site cleanup to remove unsafe conditions.
- SDCL 11-9-10(4): Installation of modern systems to meet current codes.
- SDCL 11-9-10(5): Restoration of historic features to preserve community character.
- SDCL 11-9-10(8) & (9): Enhancements to public infrastructure and utilities.

SECTION 4 - FINDING THAT THE IMPROVEMENTS TO THE AREA ARE LIKELY TO ENHANCE SIGNIFICANTLY THE VALUE OF SUBSTANTIALLY ALL OF THE OTHER REAL PROPERTY IN THE DISTRICT

It is specifically found that once the improvements set forth within City of Mitchell TID #47 Project Plan are commenced the improvements enhance significantly the value of substantially all of the other real property in the District and will help the entire City core business district continue to develop, adding sales tax dollars to the City and to the State of South Dakota.

SECTION 5 - CONDITIONS WITHIN THE STUDY AREA; LAND USE AND PLANNING LAND USE, PLANNING AND COMPREHENSIVE PLAN

The City of Mitchell Comprehensive Plan is consistent with the proposed use of the District.

SECTION 6 - FINDINGS WITHIN THE STUDY AREA ANALYSIS

In accordance with state law, it is found that not less than fifty percent (50%) by area of the real property within the District will stimulate and develop the general economic welfare and prosperity of the State of South Dakota through the promotion and advancement of industrial, commercial, manufacturing, agricultural, and natural resources, and it is found that the improvement of the area is likely to enhance significantly the value of substantially all of the other real property in the District in accord with SDCL 11-9-8(1) and (2).

The study area currently consists of a dilapidated building located within the core downtown business district to the City of Mitchell. The Developer is bringing a basically abandoned building back to life.

In accordance with State Law, the following addresses specific characteristics of economic development are found within the Study Area with corresponding portions of 11-9-8 and 11-9-11:

The investment of more than \$2,500,000 in the study area will stimulate and develop the general economic welfare and prosperity of the state through the promotion and advancement of commerce during the construction period. More than fifty percent, by area, of the real property within the District will stimulate and develop the general economic welfare and prosperity of the state through the promotion and advancement of commerce. The development will allow for more commercial opportunities and will transform a dilapidated building into a commercial business and short-term rental setting. The completion of the project will generate additional economic activity through retail commerce and development.

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ATTACHMENT 1

LEGAL DESCRIPTION

Lot One (1), Block Thirteen (13), Original Town (now City) of Mitchell, Davison County, South Dakota.

ATTACHMENT 2

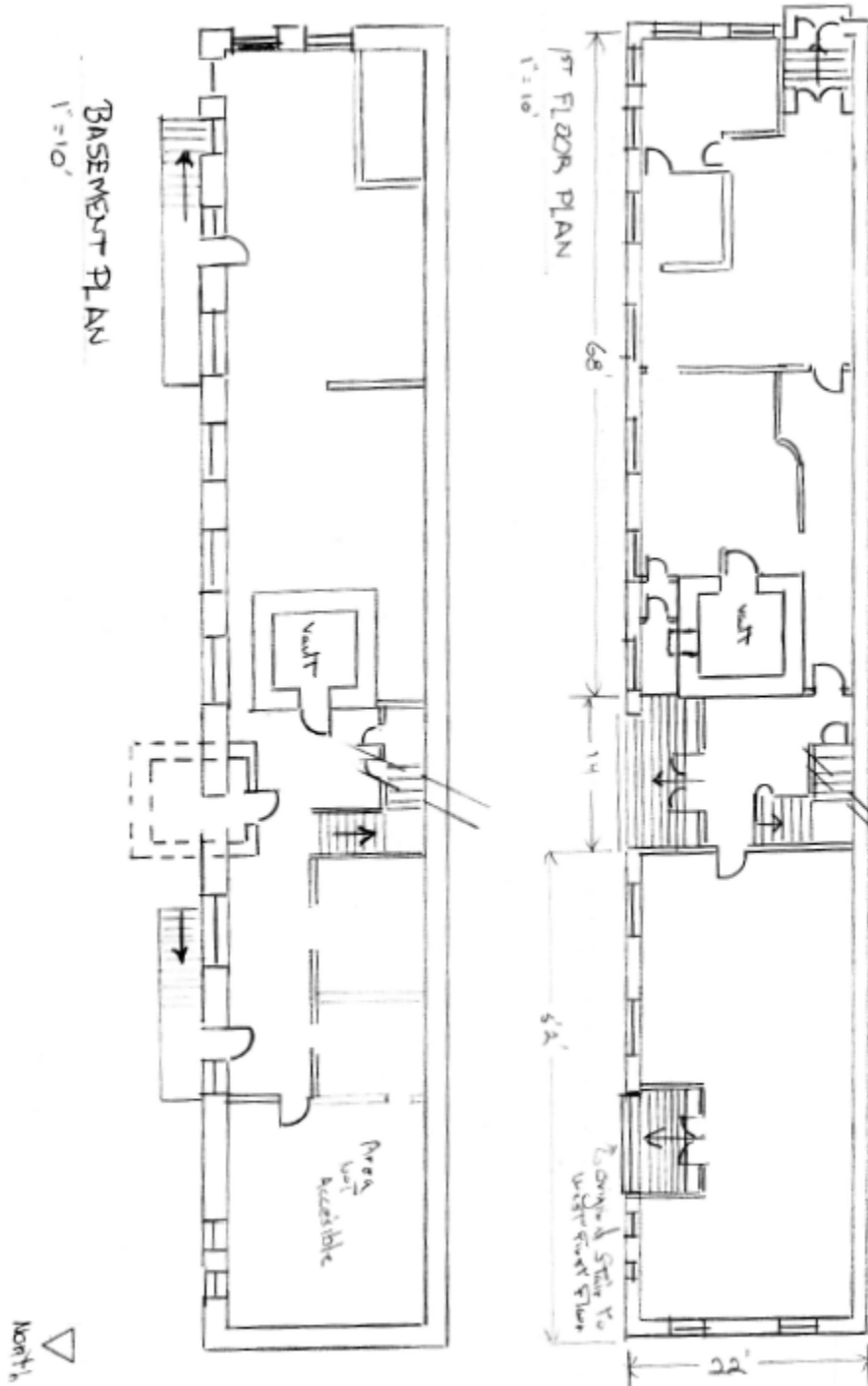
CONDITIONS MAP

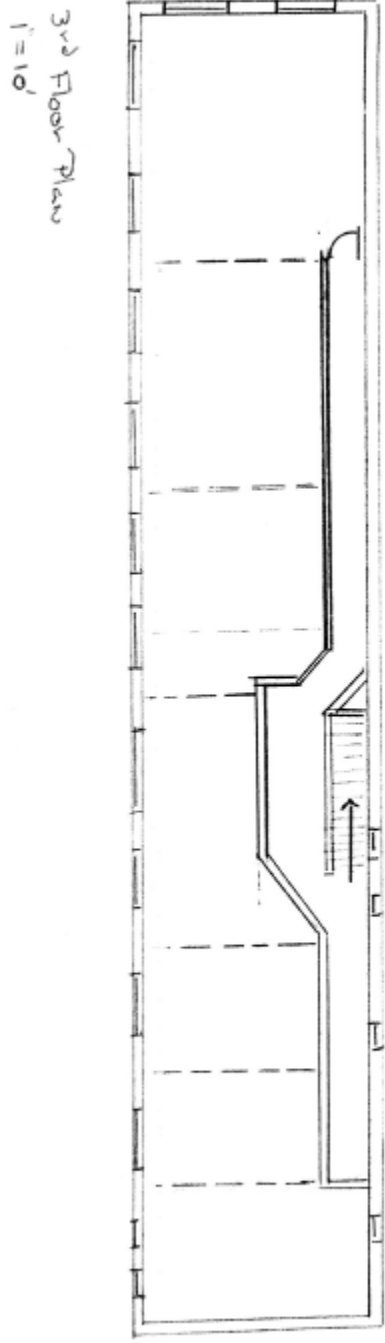
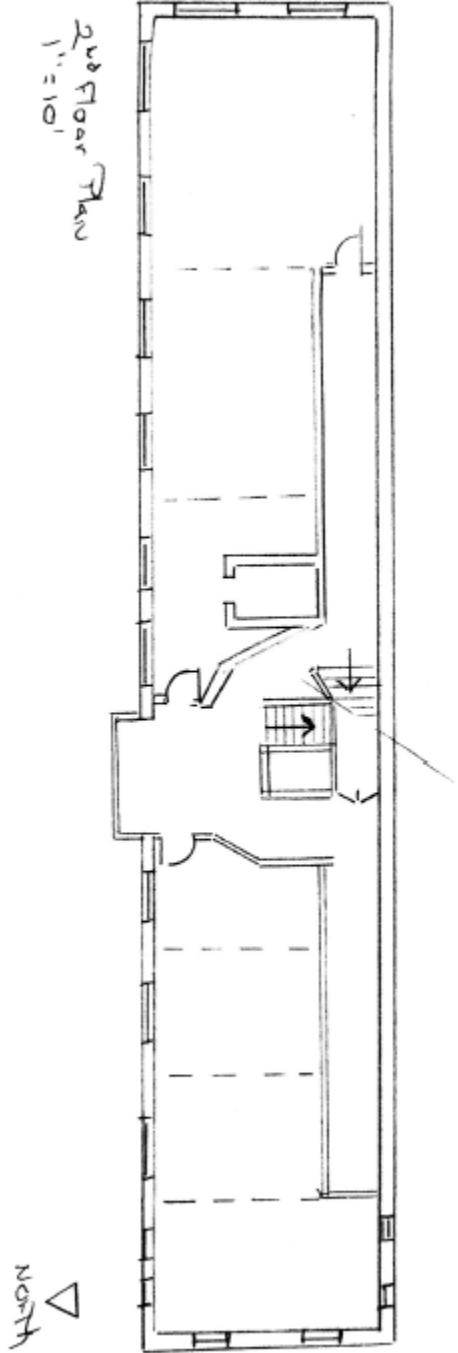
-Outlined in orange



ATTACHMENT 3

MAPS OF REAL PROPERTY/IMPROVEMENTS



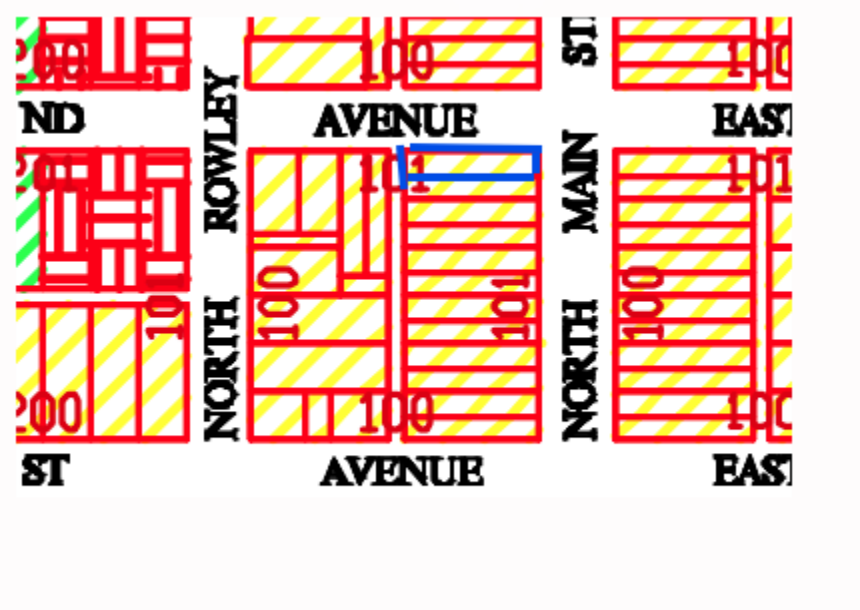


ATTACHMENT 4

ZONING MAP

- No proposed changes as the property is currently zoned as CB Central Business.

- Outlined in blue



ATTACHMENT 5

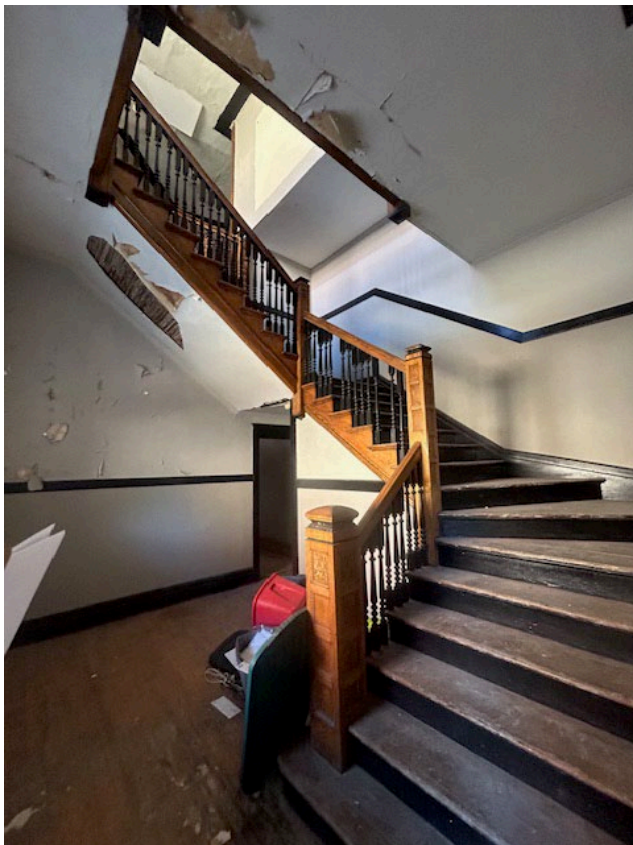
Photos of Current State of Building and "Blighted" Area



Norh East corner facing South West



Inside front entrance facing West toward bank vault



Stair case looking up to 2nd floor



West end looking back to stair case and side entrance



West end hall looking west toward alley



2nd floor along south hall



Top of 3rd floor stair looking west



3rd floor looking north from the south hall



3rd floor looking toward the southeast



Basement end looking west

ATTACHMENT 6

Preliminary Classification Letter from the Department of Revenue



SOUTH DAKOTA DEPARTMENT OF REVENUE
445 East Capitol Avenue • Pierre, SD 57501
(605) 773-3311 • dor.sd.gov

May 14, 2026

City Finance Office
612 N Main
Mitchell SD 57301

RE: Preliminary Classification of City of Mitchell # 47

Dear Michelle Bathke:

The Department of Revenue hereby acknowledges receipt of your request for Preliminary Classification of Tax Increment Financing District submitted on 05/14/2026.

Upon review of the provided information, the Department has determined the preliminary classification for the TIF District "City of Mitchell # 47" to be Economic Development for the purposes of the State Aid to Education formula.

If you have any questions or concerns, please do not hesitate to contact this office.

Sincerely,

A handwritten signature in blue ink, appearing to read 'WJS', written over a light blue circular stamp.

Wendy Semmler, Director
Property Tax Division

<http://dor.sd.gov>
